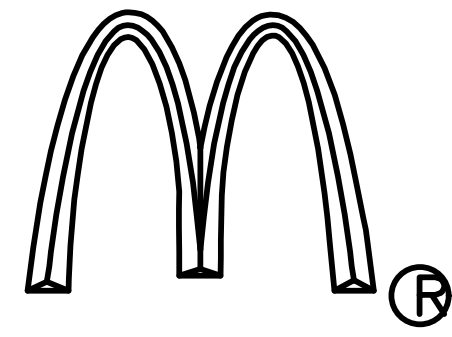


ABBREVIATIONS

Table of abbreviations with columns for symbol, description, and units. Includes terms like ANCHOR BOLT, ACQUSTICAL TILE, ADH., etc.



McDonald's USA, LLC

INA ROAD & THORNYDALE ROAD

3830 W. INA ROAD

MARANA, ARIZONA 85741

PIMA COUNTY

McDONALD'S SITE ID: 002-0093

DPP1712-001

PCZ-9404

THIS PROJECT



VICINITY MAP

SCALE: 3"=1 MILE
SECTION 31, T-12-S, R-13-E
OF THE G&SRM, MARANA,
PIMA COUNTY, ARIZONA

GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, CONDITIONS, AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL INFORM THE ARCHITECT IN WRITING OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS. ANY SUCH DISCREPANCIES, OMISSIONS, OR VARIATIONS NOT REPORTED BEFORE START OF CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WHERE DISCREPANCIES OCCUR IN THESE DRAWINGS, NOTES, AND DETAILS ON DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.

GENERAL NOTES (continued.)

- 29. COMPACTION IN ALL AREAS SHALL BE TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY AS DETERMINED BY METHOD T-99/ASTM D698A UNLESS OTHERWISE SPECIFIED. THOSE AREAS TO RECEIVE FILL SHALL BE SCARIFIED TO A DEPTH OF EIGHT (8) INCHES AND BROUGHT TO A PROPER MOISTURE CONTENT AND COMPACTED TO THE ABOVE DENSITY. THE SOURCE OF FILL MATERIAL SHALL BE APPROVED BY THE OWNER PRIOR TO PLACEMENT. ALL TESTING SHALL BE DONE AT THE OWNER'S EXPENSE.

PROJECT TEAM

Table listing project team members including Owner/Developer (McDonald's USA, LLC), Engineer (Civil), Architect (Site and Landscape), and Surveyor.

DRAWING INDEX

Table listing drawing sheets and titles: 1 of 12 COVER SHEET, 2 of 12 (SP1) SITE PLAN, 3 of 12 GRADING PLAN, 4 of 12 PRIVATE SEWER PLAN, 5 of 12 PRIVATE WATER PLAN, 6 of 12 (SD1) SITE DETAILS, 7 of 12 (SD2) SITE DETAILS, 8 of 12 (SD3) SITE DETAILS, 9 of 12 (SD4) SITE DETAILS, 10 of 12 (SD5) SITE DETAILS, 11 of 12 LANDSCAPE PLAN, 12 of 12 LANDSCAPE DETAILS.

PROJECT DESCRIPTION

McDONALD'S IS PROPOSING TO DEMOLISH THE EXISTING RESTAURANT CURRENTLY IN THE SHOPPING CENTER AND REBUILD A NEW 5,261 SQUARE FOOT RESTAURANT. THE NEW RESTAURANT WILL HAVE APPROXIMATELY 1,000 SQ. FT. OF SEATING AREA INCLUDING A PLAY PLACE. THIS SITE IS DESIGNED WITH DUAL ORDER POINT DRIVE-THRU LANE TO COMPLY WITH CURRENT McDONALD'S STANDARDS.

LEGEND

Legend table defining symbols for existing and planned features. Existing includes Right-of-Way Line, Boundary Line, Survey Marker, Curbs & Gutters, Sidewalk, Pavement Elev, Top of Curbs Elev, Gutter Elev, Concrete Elev, Finished Floor Elev, Potable Water Line and Valve, Sewer Line & Manhole, Sewer Cleanout, Water Valve, Fire Hydrant, Backflow Preventer, Water Meter, Grade Break, Drainage Flow Direction, Electric Transformer, Irrigation Valve, Electric Cabinet, Gas Valve. Planned includes Right-of-Way Line, Boundary Line, Survey Marker, Curbs & Gutters, Sidewalk, Pavement Elev (P 40.00), Top of Curbs Elev (TC 40.00), Gutter Elev (G 40.00), Concrete Elev (C 40.00), Finished Floor Elev (FFF 2247.66).

PROJECT DATA

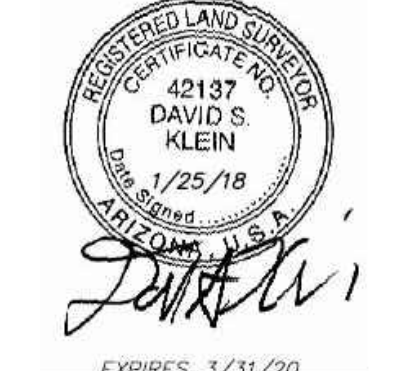
Table with project data: Building Code (2012 IBC), Electrical Code (2011 NEC), Mechanical Code (2012 IMC), Fire Code (2012 IFC), Plumbing Code (2012 IPC), Energy Code (2012 IECC), Health Code (PIMA COUNTY HEALTH DEPARTMENT).

SITE INFORMATION

PROJECT ADDRESS: 3830 W. INA ROAD, MARANA, ARIZONA 85741
PARCEL NUMBER: 225-38-088E
EXISTING ZONING DISTRICT: NC (NEIGHBORHOOD COMMERCIAL)
SITE USE: McDONALD'S RESTAURANT (A-2 TYPE BV)
BUILDING HEIGHT: PROPOSED: 24'
SITE AREA: 10,559 S.F. SQ. FT. OR 0.24 ACRES
AREA OF DISTURBANCE: NET: 36,785 S.F. SQ. FT. OR 0.84 ACRES

CERTIFICATION OF SURVEY

I HEREBY CERTIFY THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME OR UNDER MY SUPERVISION AND THAT ALL BOUNDARY MONUMENTS INDICATED HEREON ACTUALLY EXIST, AND THEIR LOCATIONS SIZE AND MATERIAL ARE CORRECTLY SHOWN.



SURVEY

THE BASIS OF BEARING IS THE MONUMENT LINE OF INA ROAD, ALSO BEING THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 7, USING A BEARING OF NORTH 89 DEGREES 38 MINUTES 01 SECONDS WEST PER THE PLAT OF EMBASSY PLAZA, BOOK 24, PAGE 38, RECORDS OF PIMA COUNTY, ARIZONA.
THE BENCHMARK USED FOR THIS SURVEY IS THE PIMA COUNTY BRASS CAP, LOCATED IN THE INTERSECTION OF OLD FATHER ROAD AND INA ROAD, ALSO BEING THE SOUTH QUARTER CORNER OF SECTION 31, HAVING AN ELEVATION OF 2224.140, NAVD 88.

Table for revision and date tracking with columns for REV, DATE, and DESCRIPTION.

Professional Engineer seal for Stefanie M. Thrush, State of Arizona, No. 56322, Expires 03-31-20.

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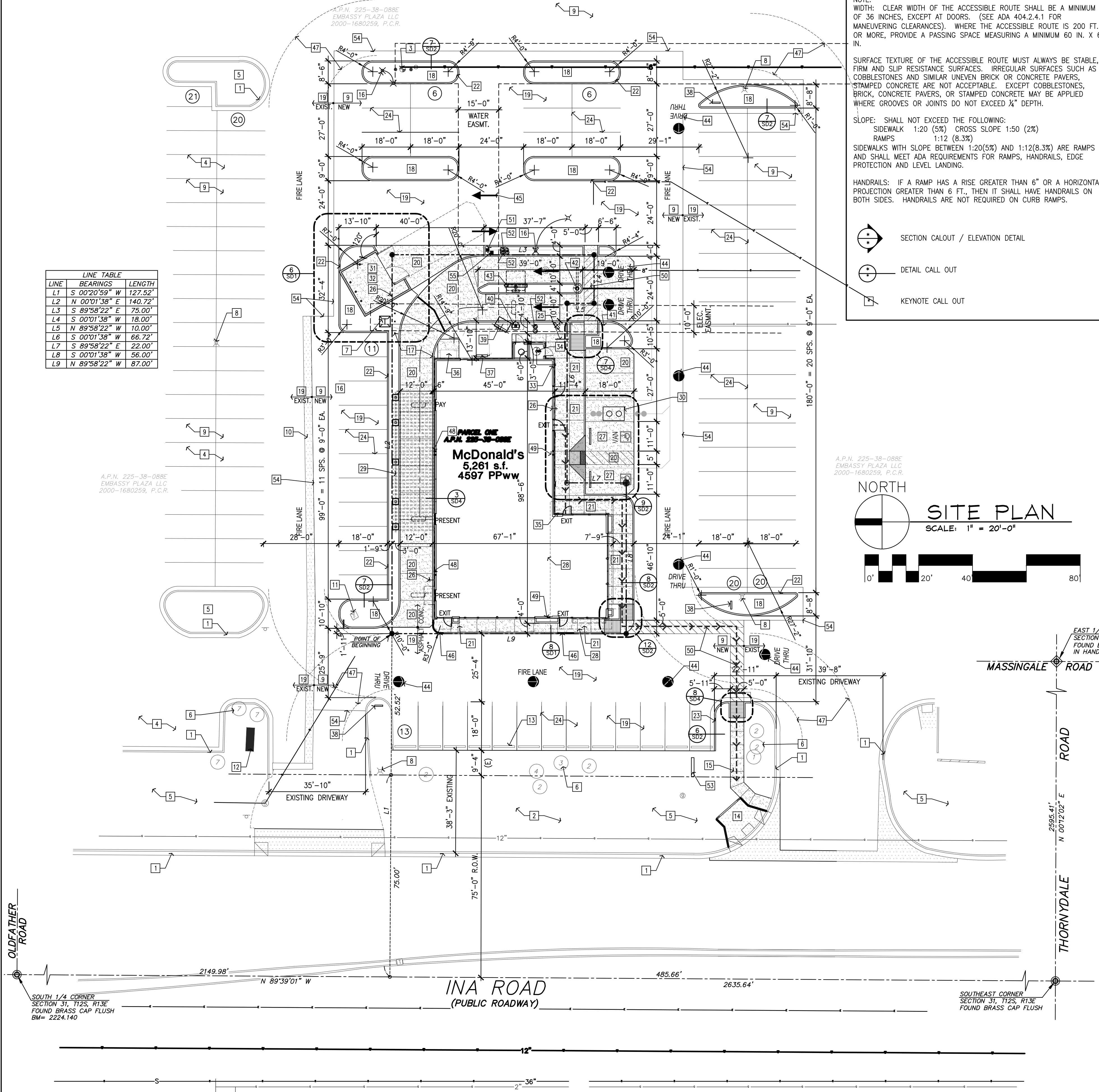
DEVELOPMENT PACKAGE logo and site address: 3830 W. INA ROAD, MARANA, AZ.

ACCEPTANCE:

Table for acceptance signatures: MARANA TOWN ENGINEER/DEVELOPMENT ENGINEER, MARANA PLANNING DIRECTOR, NORTHWEST FIRE DISTRICT.

V:\1 RBA PROJECTS\15049 McD - Ina Rd rebuild\Drawings\15049\_SPl.dwg  
 Ploited by emmy  
 Jan 30, 2018 - 1:17pm  
 This document, including the ideas and designs it contains, is an instrument of professional services rendered by the Architect/Engineer. This document may not be used or copied in whole, or in part, for any purpose other than that specifically written without the expressed written consent of Robert Brown Architects.

LINE	BEARINGS	LENGTH
L1	S 00°20'59" W	127.52'
L2	N 00°01'38" E	140.72'
L3	S 89°58'22" E	75.00'
L4	S 00°01'38" W	18.00'
L5	N 89°58'22" W	10.00'
L6	S 00°01'38" W	66.72'
L7	S 89°58'22" E	22.00'
L8	S 00°01'38" W	56.00'
L9	N 89°58'22" W	87.00'



### LEGEND

- INDICATES SITE ACCESSIBLE ROUTE SHALL COMPLY WITH ADA CHAPTER 4
- NOTE: CLEAR WIDTH OF THE ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 36 INCHES, EXCEPT AT DOORS. (SEE ADA 404.2.4.1 FOR MANEUVERING CLEARANCES). WHERE THE ACCESSIBLE ROUTE IS 200 FT. OR MORE, PROVIDE A PASSING SPACE MEASURING A MINIMUM 60 IN. X 60 IN.
- SURFACE TEXTURE OF THE ACCESSIBLE ROUTE MUST ALWAYS BE STABLE, FIRM AND SLIP RESISTANCE SURFACES. IRREGULAR SURFACES SUCH AS COBBLESTONES AND SIMILAR UNEVEN BRICK OR CONCRETE PAVERS, STAMPED CONCRETE ARE NOT ACCEPTABLE. EXCEPT COBBLESTONES, BRICK, CONCRETE PAVERS, OR STAMPED CONCRETE MAY BE APPLIED WHERE GROOVES OR JOINTS DO NOT EXCEED 1/4" DEPTH.
- SLOPE: SHALL NOT EXCEED THE FOLLOWING:  
 SIDEWALK 1:20 (5%) CROSS SLOPE 1:50 (2%)  
 RAMP 1:12 (8.3%)  
 SIDEWALKS WITH SLOPE BETWEEN 1:20(5%) AND 1:12(8.3%) ARE RAMP AND SHALL MEET ADA REQUIREMENTS FOR RAMP, HANDRAILS, EDGE PROTECTION AND LEVEL LANDING.
- HANDRAILS: IF A RAMP HAS A RISE GREATER THAN 6" OR A HORIZONTAL PROJECTION GREATER THAN 6 FT., THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS ARE NOT REQUIRED ON CURB RAMP.
- SECTION CALOUT / ELEVATION DETAIL
- DETAIL CALL OUT
- KEYNOTE CALL OUT

### PROJECT DATA

**GENERAL INFORMATION**

OWNER/OPERATOR: MCDONALD'S USA, LLC CONTACT: PATRICK GRIES  
 ADDRESS: 17550 N. PERIMETER DRIVE, SUITE 400, SCOTTSDALE, AZ. 85255  
 TELEPHONE: (720) 357-2774

ARCHITECT: ROBERT BROWN ARCHITECTS CONTACT: KELLY FERGUSON  
 ADDRESS: 88 SOUTH SAN MARCOS PL., CHANDLER, AZ. 85225  
 TELEPHONE: (480) 377-2222 FAX: (480) 377-2230

BUILDING CODE: 2012 I.B.C.\* ELECTRICAL CODE: 2011 N.E.C.\*  
 MECHANICAL CODE: 2012 I.M.C.\* FIRE CODE: 2012 I.F.C.\*  
 PLUMBING CODE: 2012 I.P.C.\* ENERGY CODE: 2012 I.E.C.C.\*  
 HEALTH CODE: PIMA COUNTY ENVIRONMENTAL HEALTH

ACCESSIBILITY CODE: 2009 ICC A117.1  
 \* AS AMENDED BY THE TOWN OF MARANA

**SITE INFORMATION**

PROJECT ADDRESS: INA ROAD AND THORNYDALE ROAD  
 3830 WEST INA ROAD  
 MARANA, ARIZONA 85741

PARCEL NUMBER: 225-38-088E  
 EXISTING ZONING DISTRICT: NC (NEIGHBORHOOD COMMERCIAL)

SITE USE: MCDONALD'S RESTAURANT (A-2 TYPE VB)

BUILDING HEIGHT :  
 PROPOSED BUILDING: 24'-0"

SITE AREA:  
 NET AREA: 10,559 S.F. .24 Acres

BUILDING AREA :  
 GROSS FLOOR AREA: 5,261 S.F.  
 INCLUDING SEATING AREA: ±1,000 S.F.

**PARKING ANALYSIS: (NEW MCDONALD'S)**

SHOPPING CENTER 1/200 = 5,261/200 = 26 SPACES  
 TOTAL REQUIRED FOR MCDONALD'S : 26 SPACES

**MASTER PARKING ANALYSIS: (SHOPPING CENTER)**

BUILDING #1	72,945 S.F.
BUILDING #2	20,566 S.F.
WALGREENS	14,490 S.F.
MCDONALD'S	5,261 S.F.
TOTAL AREA:	113,262 S.F.
TOTAL REQUIRED :	13,262/200 567 SPACES
TOTAL PROVIDED FOR SHOPPING CENTER:	599 SPACES

PART OF SHOPPING CENTER WILL GAIN TOTAL OF 6 PARKING SPACES WITH RENOVATION

### KEY NOTES

- 1 EXISTING CURB TO REMAIN
- 2 EXISTING FINISH GRADE TO REMAIN
- 3 EXISTING FIRE HYDRANT TO REMAIN
- 4 EXISTING PARKING TO REMAIN
- 5 EXISTING LANDSCAPE TO REMAIN
- 6 EXISTING TREE TO REMAIN
- 7 EXISTING TRANSFORMER TO REMAIN
- 8 EXISTING LIGHT POLE FIXTURE ON CONC. BASE TO REMAIN
- 9 EXISTING ASPHALT PAVING TO REMAIN
- 10 EXISTING CONC. GUTTER TO REMAIN
- 11 EXISTING FLAGPOLE TO REMAIN
- 12 EXISTING MONUMENT SIGN TO REMAIN
- 13 EXISTING CONC WHEEL STOP TO REMAIN
- 14 EXISTING SIDEWALK TO REMAIN
- 15 5'-0" CONCRETE SIDEWALK - 4" THICK CONCRETE SIDEWALK WITH CONTROL JOINTS PER PLAN CONSTRUCT PER P.C. DET. 200 MAXIMUM SPACING BETWEEN JOINTS TO BE 8'-0" MAX. SEE DETAIL 10/SD2 - PER ADA ALL GAPS SHALL BE 1/2" MAX. WIDE AND 1/4" MAX. DEEP - SEE CIVIL FOR MORE INFO.
- 16 EXISTING LIGHT FIXTURE AND POLE TO BE RELOCATED TO THIS LOCATION - HEIGHT TO MATCH EXISTING SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION - NEW LIGHT POLE BASE PER DETAIL 11 & 12/SD1 - TYP. OF 2
- 17 6" DIA. BY 5'-0" HIGH CONCRETE BOLLARD - PER DETAIL 1/SD1
- 18 LANDSCAPE AREA - REFER TO CIVIL AND LANDSCAPE DWGS
- 19 ASPHALT PAVING SEE CIVIL FOR ADDITIONAL INFORMATION - INSTALL PER MCDONALD'S SPECIFICATIONS
- 20 5" THICK BLACK CONCRETE PAVING OVER 4" A.B.C. WITH FIBER MESH REINFORCING WITH EXPANSION JOINTS PER PLAN. SEE CIVIL FOR MORE INFO.
- 21 4" THICK CONCRETE SIDEWALK WITH CONTROL JOINTS PER PLAN CONSTRUCT PER P.C. DET. 200 MAXIMUM SPACING BETWEEN JOINTS TO BE 8'-0" MAX. SEE DETAIL 10/SD2 - PER ADA ALL GAPS SHALL BE 1/2" MAX. WIDE AND 1/4" MAX. DEEP - SEE CIVIL FOR MORE INFO.
- 22 6" C.I.P. CONCRETE CURB PER P.C. DET. 209 TYPE '1' SEE DETAIL 7/SD2
- 23 6" VERTICAL CURB AND GUTTER PER P.C. DET. 209 TYPE '1G' SEE DETAIL 6/SD2 AND CIVIL FOR ADDITIONAL INFORMATION
- 24 STRIPED PARKING STALLS - 4" WIDE WHITE STRIPES
- 25 BIKE RACK PER DETAIL 3/SD2
- 26 HOSE BIB - 2 AT BUILDING, 1 AT TRASH ENCLOSURE- SEE PLUMBING DWGS FOR ADDITIONAL INFO.
- 27 ADA ACCESSIBLE PARKING STALLS PER DETAIL 9/SD2  
 NOTE: LONGITUDINAL OR TRANSVERSE PAVEMENT SLOPES AT PARKING STALL SHALL BE LESS THAN OR EQUAL TO 2% IN ALL DIRECTIONS  
 LINE OF CANOPY ABOVE
- 28 LINE OF TRELLIS SYSTEM ABOVE
- 29 1,500 GALLON GREASE INTERCEPTOR - PER T.O. MARANA AMENDS. TO 2012 IPC SECTION 1003.3 & PIMA COUNTY INDUSTRIAL WASTEWATER SEE PLUMBING DWGS. FOR MORE INFO.
- 30 TRASH REFUSE ENCLOSURE PER DETAIL 6/SD1
- 31 PROVIDE POWER & WATER TO TRASH ENCLOSURE SEE ELECTRICAL & PLUMBING
- 32 BUILDING MOUNTED FIRE DEPARTMENT CONNECTION PER NFPA REQUIREMENTS SEE CIVIL FOR ADDITIONAL INFO.
- 33 FIRE RISER LOCATION
- 34 FIRE DEPARTMENT APPROVED KNOX BOX PER T.O.MARANA FIRE DEPARTMENT STANDARDS
- 35 SERVICE ENTRANCE SECTION (S.E.S.) ON 4" THICK CONCRETE PAD - REFER TO ELECTRICAL DWGS FOR ADDITIONAL INFORMATION
- 36 GAS METER LOCATION - SEE PLUMBING FOR ADDITIONAL INFORMATION
- 37 DIRECTIONAL SIGN SHOWN FOR REFERENCE ONLY UNDER SEPARATE PERMIT FOOTING DETAIL PER 1/SD3 - COORDINATE WITH SIGNAGE COMPANY
- 38 MENU BOARD SHOWN FOR REFERENCE ONLY UNDER SEPARATE PERMIT - FOOTING DETAIL PER 1/SD5 - COORDINATE WITH SIGNAGE COMPANY
- 39 CANOPY SIGN WITH BUILT-IN C.O.D. SHOWN FOR REFERENCE ONLY UNDER SEPARATE PERMIT SEE DETAIL 13/SD2 - COORDINATE WITH SIGNAGE COMPANY
- 40 PRESELL BOARD SHOWN FOR REFERENCE ONLY UNDER SEPARATE PERMIT FOOTING DETAIL PER 2/SD5 - COORDINATE WITH SIGNAGE COMPANY
- 41 SINGLE GATEWAY SHOWN FOR REFERENCE ONLY UNDER SEPARATE PERMIT - SEE DETAIL 11/SD2
- 42 CANOPY SIGN WITH INTEGRATED MENU BD. AND C.O.D. SHOWN FOR REFERENCE ONLY UNDER SEPARATE PERMIT
- 43 PAINTED 'DRIVE-THRU' STRIPING VERIFY WITH OWNER/OPERATOR - TYP.
- 44 ASPHALT STRIPING - VERIFY WITH OWNER/OPERATOR - TYP.
- 45 6'-0" LONG X 3'-6" HIGH GUARD RAIL ALONG EDGE OF PER DETAIL 2/SD2
- 46 AASHTO WB-40 TURNING RADI PER TOWN OF MARANA STANDARDS
- 47 ROOF DRAIN & OVERFLOW DRAIN LEADERS TO DAYLIGHT 6" A.F.F. WITH BRASS FINISH SHEEPS TONGUE PER DETAIL 4/SD4 - REFER TO ROOF PLAN FOR DRAIN SIZE
- 48 ROOF DRAIN LEADER IN TUBE STEEL SIDEWALK SCUPPER - TO DAYLIGHT AT FACE OF CURB & OVERFLOW DRAIN TO DAYLIGHT AT 6" A.F.F. WITH BRASS FINISH SHEEPS TONGUE AT BUILDING FACE SEE DETAIL 4/SD4
- 49 ADA ACCESSIBLE ROUTE - 4" WHITE PAINTED STRIPES AT 2'-0" O.C. AT 45' STANDARDS; 2% MAX CROSS SLOPES AND 1:20 MAX 5% LONGITUDINAL SLOPES.
- 50 RELOCATE EXISTING 2" DOMESTIC WATER METER AND SERVICE - SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
- 51 BACKFLOW PREVENTION DEVICE PER T.O.MARANA STANDARDS - SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
- 52 NEW MCDONALD'S MONUMENT SIGN - 8'-0" MAX. HEIGHT UNDER SEPARATE PERMIT SHOWN FOR REFERENCE ONLY
- 53 LIMITS OF NEW ASPHALT PAVEMENT - SEE CIVIL FOR MORE INFO.
- 54 RELOCATE EXISTING 1" IRRIGATION WATER METER AND SERVICE - SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION

### PROJECT NARRATIVE

MCDONALD'S IS PROPOSING TO DEMOLISH THE EXISTING RESTAURANT CURRENTLY IN THE SHOPPING CENTER AND REBUILDING A NEW 5,261 SQUARE FOOT RESTAURANT. THE NEW RESTAURANT WILL HAVE APPROXIMATELY 1,000 SQ. FT OF SEATING AREA INCLUDING A PLAY PLACE. THIS SITE IS DESIGNED WITH DUAL ORDER POINT DRIVE-THRU LANE TO COMPLY WITH CURRENT MCDONALD'S STANDARDS.

### GENERAL NOTES

GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON DRAWINGS FOR CONFLICTS PRIOR TO AND DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

NO STRUCTURE OF ANY KIND TO BE CONSTRUCTED ON, OR PLACED WITHIN PUBLIC UTILITY EASEMENTS EXCEPT WOOD, WIRE OR REMOVABLE SECTION TYPE FENCING AND/OR PAVING NOR ANY PLANTING EXCEPT GRASS. GENERAL CONTRACTOR SHALL BE REQUIRED TO REPLACE ANY OBSTRUCTIONS OR PLANTING THAT MUST BE REMOVED DURING THE COURSE OF MAINTENANCE CONSTRUCTION OR RECONSTRUCTION OF THE PUBLIC UTILITIES. VERIFY WITH LOCAL AGENCIES.

GENERAL CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE BEGINNING ANY WORK.

GENERAL CONTRACTOR TO SCHEDULE BLUE STAKE INSPECTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.

ALL MECHANICAL UNITS GROUND MOUNTED AND ROOF MOUNTED, INCLUDING UTILITIES SHALL BE FULLY SCREENED FROM THE PUBLIC VIEW.

VERIFY ALL SITE STRIPING WITH OWNER/OPERATOR

SHOW THAT THE ACCESSIBLE (ADA) ROUTES MEET ADA REQUIREMENTS FOR SLOPES. ALL ACCESSIBLE ROUTES INCLUDING RAMP AND SIDEWALKS MUST MEET ADA STANDARDS; 3'-0" MIN. WIDE WITH 1:50 (2%) MAXIMUM CROSS SLOPES AND 1:20 (5%) MAXIMUM LONGITUDINAL SLOPES. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS.

FIRE DEPARTMENT ACCESS AND WATER SUPPLY REQUIREMENTS SHALL BE IN PLACE PRIOR TO COMBUSTIBLE MATERIALS BEING BROUGHT ON SITE.

ALL UTILITY BOXES, VAULTS AND BACKFLOW PREVENTION DEVICES SHALL BE PAINTED TO MATCH THE BUILDING AND SCREENED FROM PUBLIC VIEW BY A MASONRY WALL OR A ROUND-TOPPED WIRE MESH ENCLOSURE, PAINTED TO MATCH THE ADJACENT WALL.

ON-SITE LIGHTING SHALL MEET THE OUTDOOR LIGHT CONTROL ORDINANCE.

ALL RADI AT CURBS SHALL BE 5'-0" UNLESS NOTED OTHERWISE.

DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES & ORDINANCES.

ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.

OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS.

ALL SIGNAGE SHALL BE SUBJECT TO A SEPARATE REVIEW & APPROVAL PERMIT.

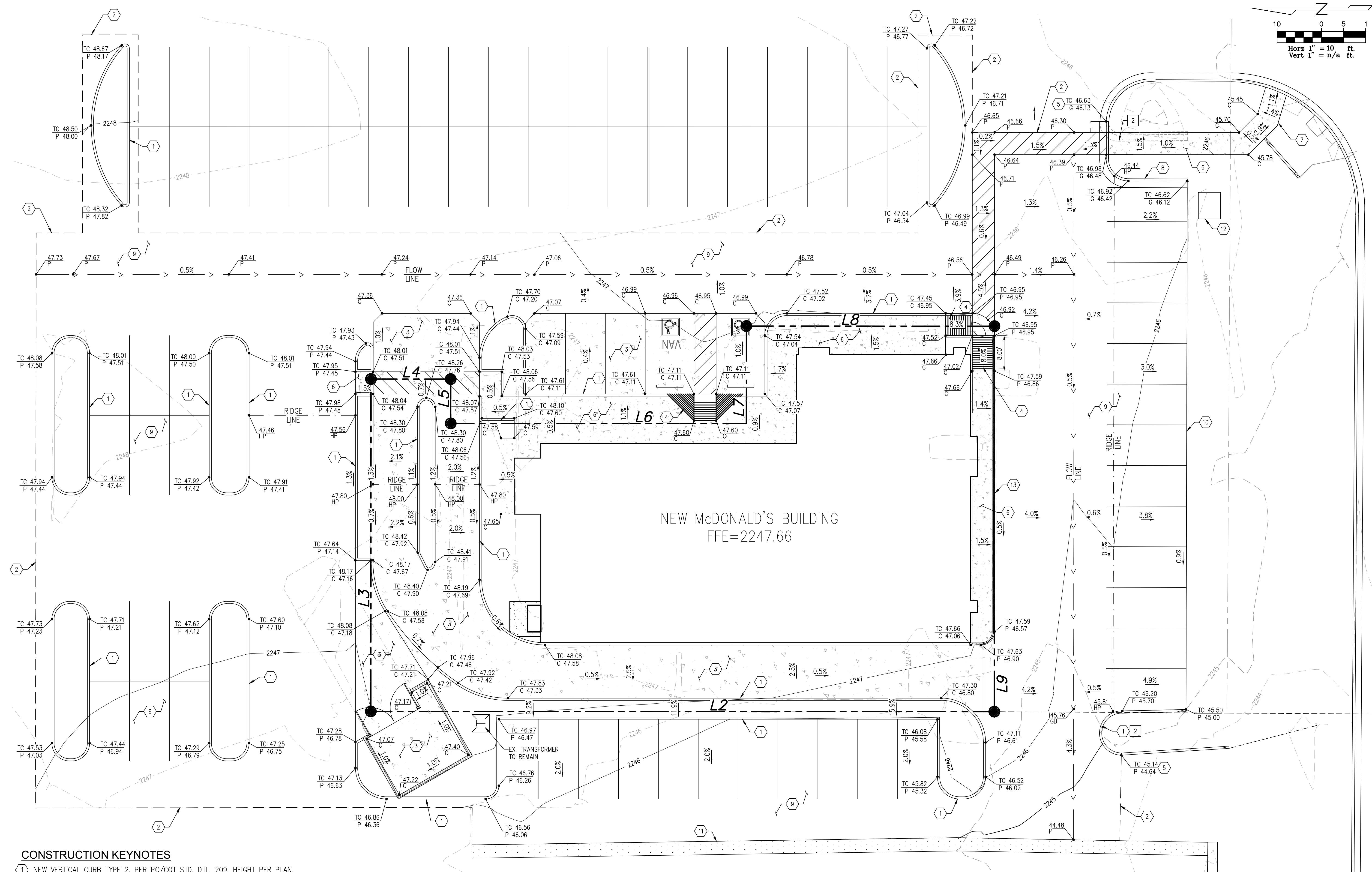
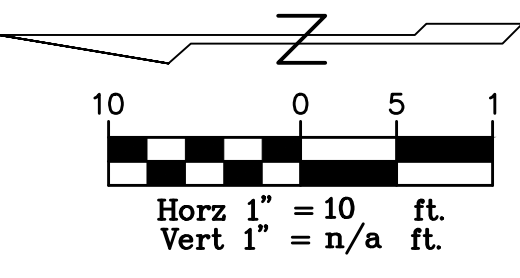
TITLE	DESCRIPTION	REV	DATE	BY
MCDONALD'S INA ROAD DEVELOPMENT PLAN	SITE PLAN			
SHEET <b>SP1 (2 of 12)</b>				

**M. McDonald's USA, LLC**  
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PREPARED BY: **EMC**  
 DESIGNED BY: **KF**  
 APPROVED BY: **KF**  
 DATE PREPARED: 02.01.2018  
 TOWNSHIP 12S RANGE 13E SECTION 31 IN SUBDIVISION PLAT MAP BK 24 PG 28

SITE ADDRESS: 3830 WEST INA ROAD  
 MARANA, AZ 85741

SEAL:   
 Expires: 12/31/18  
 RBA PROJECT NO: 15049



**CONSTRUCTION KEYNOTES**

- 1 NEW VERTICAL CURB TYPE 2, PER PC/COT STD. DTL. 209. HEIGHT PER PLAN.
- 2 SAWCUT LIMITS. SAWCUT, TRIM, TACK & JOIN NEW PVMT. TO EX. PVMT. MATCH EXISTING ELEVATIONS. NEW ASPHALT PAVEMENT THICKNESS PER GEOTECHNICAL REPORT.
- 3 NEW PCCP, THICKNESS PER GEOTECHNICAL REPORT.
- 4 NEW ACCESS RAMP. SEE SITE PLAN.
- 5 CONNECT NEW CURB TO EXISTING CURB PER PC/COT STD. DTL. 211. MATCH EX ELEVATIONS.
- 6 NEW CONCRETE SIDEWALK PER PC/COT STD. DTL. 200. SEE SITE PLAN FOR DIMENSIONS.
- 7 CONNECT NEW SIDEWALK TO EXISTING RAMP PER PC/COT STD. DTL. 203. MATCH EXISTING ELEVATIONS

- 8 NEW VERTICAL CURB & GUTTER TYPE I(G) PER PC/COT STD. DTL. 209.
- 9 NEW ASPHALT PAVEMENT, THICKNESS PER GEOTECHNICAL REPORT.
- 10 NEW EDGE OF PAVEMENT, THICKENED EDGE PER MAG STD. DTL. 201 TYPE 'B'.
- 11 RE-PAVE UP TO EDGE OF EXISTING VALLEY GUTTER. VALLEY GUTTER TO REMAIN IN PLACE. MATCH EXISTING ELEVATIONS
- 12 NEW MONUMENT SIGN, BY SEPARATE SIGN SUBMITTAL PACKAGE
- 13 RETAINING CURB, HEIGHT PER PLAN. DESIGN PER STRUCTURAL PLANS. INSTALL GUARDRAIL PER SITE PLAN.

**DEMOLITION KEYNOTES**

- 1 REMOVE ALL CURB, CONCRETE, PAVEMENT, WALLS, AND STRUCTURES WITHIN SAWCUT LIMITS.
- 2 REMOVE EXISTING CURB.

**PROPERTY LIMITS (LEASE AREA)**

LINE	BEARINGS	LENGTH
L2	N 00°01'38" E	140.72'
L3	S 89°58'22" E	75.00'
L4	S 00°01'38" W	18.00'
L5	N 89°58'22" W	10.00'
L6	S 00°01'38" W	66.72'
L7	S 89°58'22" E	22.00'
L8	S 00°01'38" W	56.00'
L9	N 89°58'22" W	87.00'

Call at least two full working days before you begin to excavate

**ARIZONA 811**  
Arizona Blue Stake, Inc.  
Dial 8-1-1 or 1-800-STAKE-IT (782-5348)

**EARTHWORK QUANTITIES**

CUT (RAW)	100 C.Y.
FILL (RAW)	385 C.Y.

QUANTITIES ARE IN PLACE ESTIMATES BASED ON ROUGH GRADING. NO SHRINK OR SWELL IS ASSUMED. NO GROUND LOSS IS INCLUDED.

INA ROAD

GRADING PLAN

SHEET SITE ADDRESS: 3830 W. INA ROAD, MARANA, AZ

DESCRIPTION: DEVELOPMENT PACKAGE

LEGAL DESCRIPTION: PARCEL 2, RECORDS IN SUBDIVISION PLAT MAP BK 24, PG 38, MARANA, AZ, RANGE 12E, SECTION 31, T28N11E

DATE PREPARED: 1/2018

SITE ID: 002-0093

DRAWN BY: SMT

DESIGNED BY: SMT

REVIEWED BY: PWM

PREPARED FOR: M. McDonald's USA, LLC

MAE PROJECT NO: 17025

EXPIRES: 03-31-20

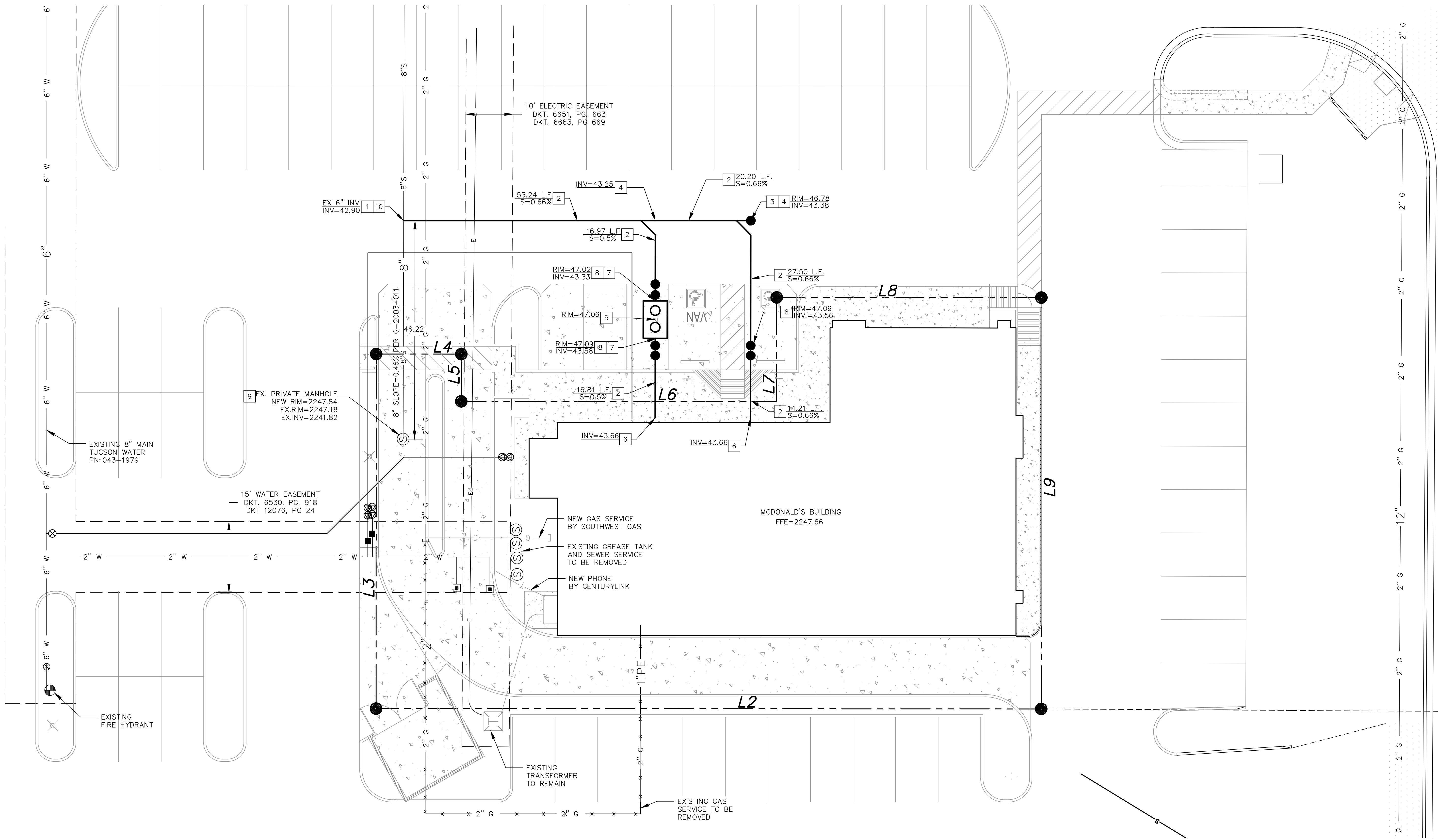
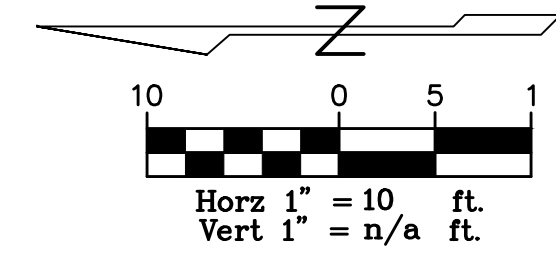
REGISTERED PROFESSIONAL ENGINEER (PE) 56322 STEFANIE M. THRUSH APRIL 2018

MARUM & ASSOCIATES ENGINEERING, LLC 2730 E. BROADWAY BLVD. TUCSON, AZ 85716 (520) 448-4440

REV DATE DESCRIPTION

BY

DWG. N: 17025-17025 - McDonald's Inc & Thornapple\dwg\17025 - GP.dwg DATE: Jan 26, 2018 USER: sltrush XREFS: 17025-17025-BA, 17025-17025-CP, 17025-17025-SP, 17025-17025-SS, 17025-17025-TR



**PRIVATE SEWER NOTES**

- 1 TAP EXISTING 6" SEWER MAIN. INSTALL 4" BCS PER RWRD STD. DTL 440
- 2 INSTALL 4" PVC SDR 35 SANITARY SEWER PIPE, LENGTH AND SLOPE PER PLAN. TRENCH BEDDING AND BACKFILL PER MANUFACTURE'S SPECIFICATION.
- 3 INSTALL SANITARY SEWER CLEANOUT PER P.C. STD. DET. RWRD 404, TYPE PER PLAN.
- 4 INSTALL 4"x4" WYE.
- 5 INSTALL 1500 GALLON GREASE INTERCEPTOR PER MANUFACTURE'S SPECIFICATIONS. SEE PLUMBING PLAN FOR VENT DETAILS. GREASE INTERCEPTOR PER JENSEN PRECAST MODEL JP1500-EE-G TRAFFIC RATED, OR APPROVED EQUAL.
- 6 SEE PLUMBING PLAN FOR CONTINUATION. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO START OF CONSTRUCTION AND NOTIFY OWNER'S AGENT OF ANY DISCREPANCIES.
- 7 CONNECT SEWER PIPE TO GREASE TRAP.
- 8 INSTALL (2) SANITARY SEWER CLEANOUTS, BULLHORN CONFIGURATION, PER P.C. STD. DET. RWRD 404, TYPE PER PLAN.
- 9 ADJUST MANHOLE FRAME & COVER TO EXISTING GRADE PER RWRD. STD. DTL. 305
- 10 INSTALL BACKWATER VALVE PER MANUFACTURER SPECIFICATIONS.

PROPERTY LIMITS (LEASE AREA)

LINE	BEARINGS	LENGTH
L2	N 00°01'38" E	140.72'
L3	S 89°58'22" E	75.00'
L4	S 00°01'38" W	18.00'
L5	N 89°58'22" W	10.00'
L6	S 00°01'38" E	66.72'
L7	S 89°58'22" E	22.00'
L8	S 00°01'38" W	56.00'
L9	N 89°58'22" W	87.00'



PRIVATE SEWER PLAN

SHEET 4 of 12

SITE ADDRESS: 3830 W. INA ROAD, MARANA, AZ

DESCRIPTION: DEVELOPMENT PACKAGE

LEGAL DESCRIPTION: LOT 2, RECORDED IN SUBDIVISION PLAT MAP BK 24, PG 38, MARANA PLAZA, MARANA, AZ, SECTION 31, T82N17R12E

DRAWN BY: SMT

DESIGNED BY: SMT

REVIEWED BY: PWM

DATE PREPARED: 1/2018

SITE ID: 002-0093

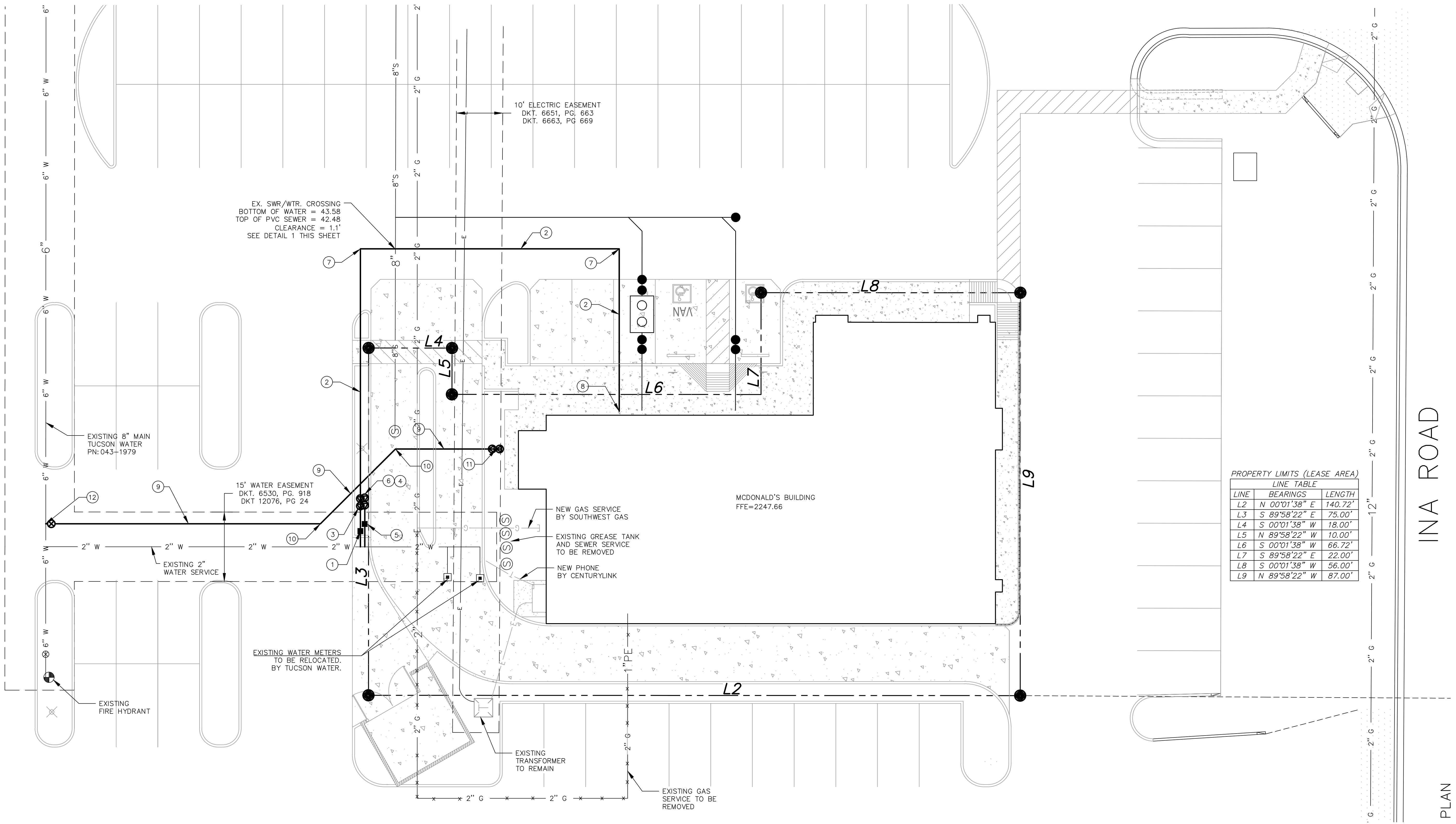
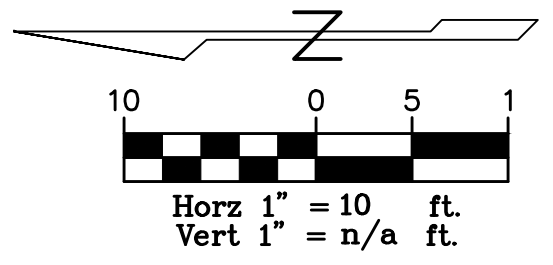
PREPARED FOR: McDonald's USA, LLC

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REGISTERED PROFESSIONAL ENGINEER  
 CERTIFICATE NO. 56322  
 STEFANIE M. THURSH  
 APRIL 2018  
 STATE OF ARIZONA  
 EXPIRES 03-31-20  
 MAE PROJECT NO: 17025

MARUM & ASSOCIATES ENGINEERING, LLC  
 2730 E. BROADWAY BLVD. TUCSON, AZ 85716  
 (520) 448-4440

REV	DATE	DESCRIPTION	BY



PROPERTY LIMITS (LEASE AREA)  
LINE TABLE

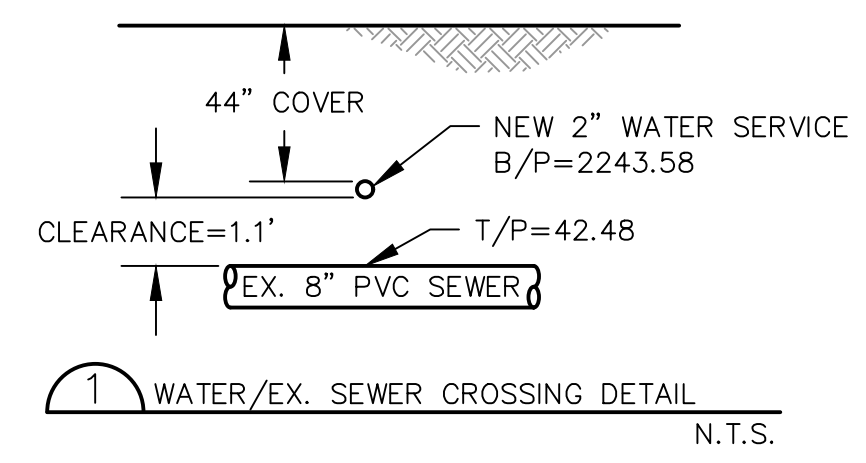
LINE	BEARINGS	LENGTH
L2	N 00°01'38" E	140.72'
L3	S 89°58'22" E	75.00'
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L7	S 89°58'22" E	22.00'
L8	S 00°01'38" W	56.00'
L9	N 89°58'22" W	87.00'

INA ROAD

PRIVATE WATER PLAN

**WATER NOTES**

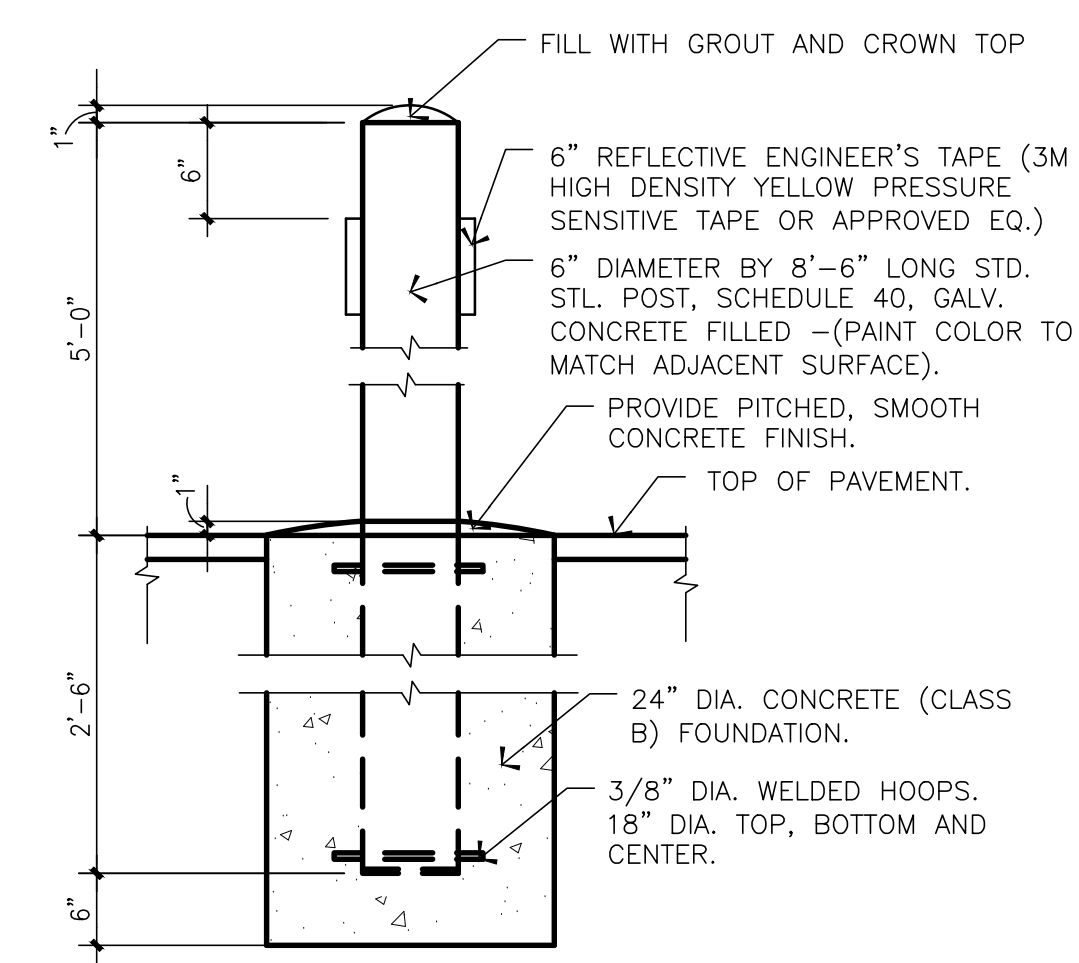
- 1 RELOCATED EXISTING 2" DOMESTIC WATER METER, BY TUCSON WATER. CONTRACTOR TO COORDINATE WITH TUCSON WATER NEW SERVICES DEPARTMENT FOR METER RELOCATION. CONTRACTOR TO VERIFY EXISTING WATER METER SIZE AND LOCATION PRIOR TO START OF CONSTRUCTION AND NOTIFY OWNER'S AGENT OF ANY DISCREPANCIES.
- 2 INSTALL 2" WATER SERVICE PIPE.
- 3 INSTALL 2" REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY PER TUCSON WATER STD. DET. SD-1802. CONTRACTOR TO COORDINATION WITH TUCSON WATER AND OBTAIN ALL NECESSARY PERMITS.
- 4 SEE LANDSCAPE PLAN FOR CONTINUATION. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION.
- 5 RELOCATED EXISTING 1" IRRIGATION METER, BY TUCSON WATER. CONTRACTOR TO COORDINATE WITH TUCSON WATER NEW SERVICES DEPARTMENT FOR METER RELOCATION. CONTRACTOR TO VERIFY EXISTING WATER METER SIZE AND LOCATION PRIOR TO START OF CONSTRUCTION AND NOTIFY OWNER'S AGENT OF ANY DISCREPANCIES.
- 6 NEW 1" REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY PER TUCSON WATER STD. DET. SD-1802. CONTRACTOR TO COORDINATE INSTALLATION WITH TUCSON WATER AND OBTAIN ALL NECESSARY PERMITS.
- 7 INSTALL 2" X 90° BEND.
- 8 SEE PLUMBING PLAN FOR CONTINUATION. CONTRACTOR TO VERIFY SIZE AND LOCATION PRIOR TO START OF CONSTRUCTION AND NOTIFY OWNER'S AGENT OF ANY DISCREPANCIES.
- 9 NEW 6" PVC C-900 FIRE LINE, BY TUCSON WATER. CONTRACTOR TO COORDINATION WITH TUCSON WATER NEW SERVICES DEPARTMENT FOR INSTALLATION OF FIRE LINE.
- 10 INSTALL 6" X 45° BEND.
- 11 SEE FIRE SPRINKLER PLAN FOR CONTINUATION. CONTRACTOR TO VERIFY SIZE AND LOCATION PRIOR TO START OF CONSTRUCTION AND NOTIFY OWNER'S AGENT OF ANY DISCREPANCIES.
- 12 NEW 6"x6" TAPPING SLEEVE WITH 6" VALVE, BOX AND COVER. BY TUCSON WATER. CONTRACTOR TO COORDINATION WITH TUCSON WATER NEW SERVICES DEPARTMENT FOR INSTALLATION OF FIRE LINE.
- 13 NEW 6" REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY PER TUCSON WATER STD. DET. SD-1802. CONTRACTOR TO COORDINATION WITH TUCSON WATER AND OBTAIN ALL NECESSARY PERMITS.



Call at least two full working days before you begin to excavate  
**ARIZONA 811**  
 Arizona Blue Stake, Inc.  
 Dial 8-1-1 or 1-800-STAKE-IT (782-5348)

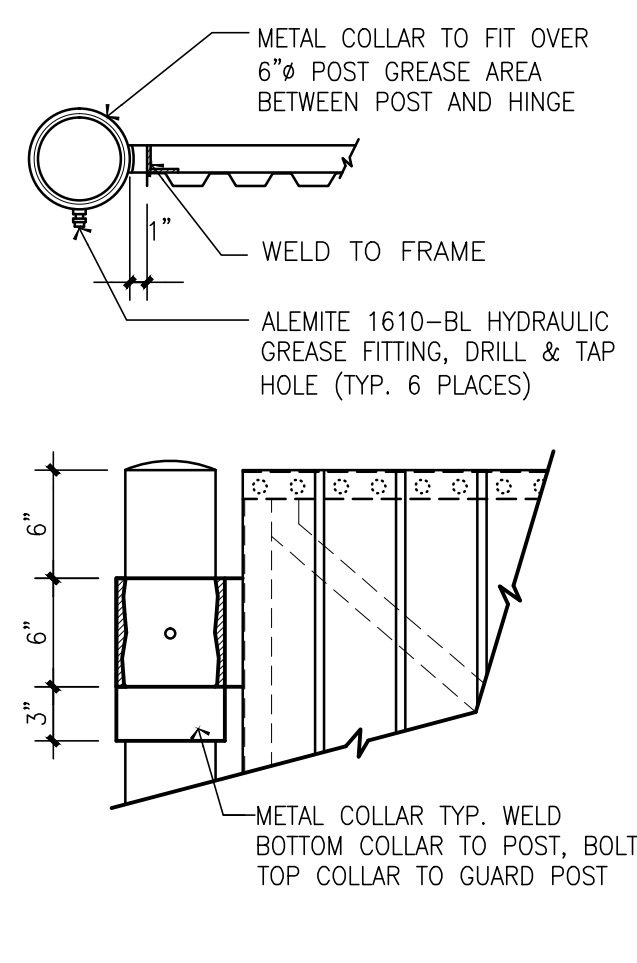
<p><b>McDonald's USA, LLC</b></p> <p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.</p>	<p>REGISTERED PROFESSIONAL ENGINEER          CERTIFICATE NO. 56322          STEFANIE M. THURSH          APRIL 2018          EXPIRES 03-31-20</p> <p>MAE PROJECT NO: 17025</p> <p>MARUM &amp; ASSOCIATES ENGINEERING, LLC          2730 E. BROADWAY BLVD., TUCSON, AZ 85716          (520) 448-4440</p>
<p>PREPARED FOR:  <b>McDonald's USA, LLC</b></p>	<p>DRAWN BY: SMI</p>
<p>DESIGNED BY: SMI</p>	<p>DATE PREPARED: 1/2018</p>
<p>REVIEWED BY: PWW</p>	<p>SITE ID: 002-0093</p>
<p>DEVELOPMENT PACKAGE</p>	
<p>LEGAL DESCRIPTION: LOT 2, RECORDED IN SUBDIVISION PLAT MAP BK 24, PG 38, MARUM &amp; ASSOCIATES ENGINEERING, LLC, SECTION 31, TUCSON, AZ</p>	
<p>SHEET ADDRESS: 3830 W. INA ROAD, MARANA, AZ</p>	<p>DESCRIPTION: DEVELOPMENT PACKAGE</p>
<p><b>5 of 12</b></p>	
<p>DPP1712-001 PCZ-9404</p>	

DWG: N:\2017\17025 - McDonald's Inc. & Thorndike\Map\17025 - DP.dwg DATE: Jan 26, 2018  
 USER: althruh  
 XREFS: 17025-BL, xp-base, 17025-CP-20A, SEFL-S1, NFC, 17025-LEBA



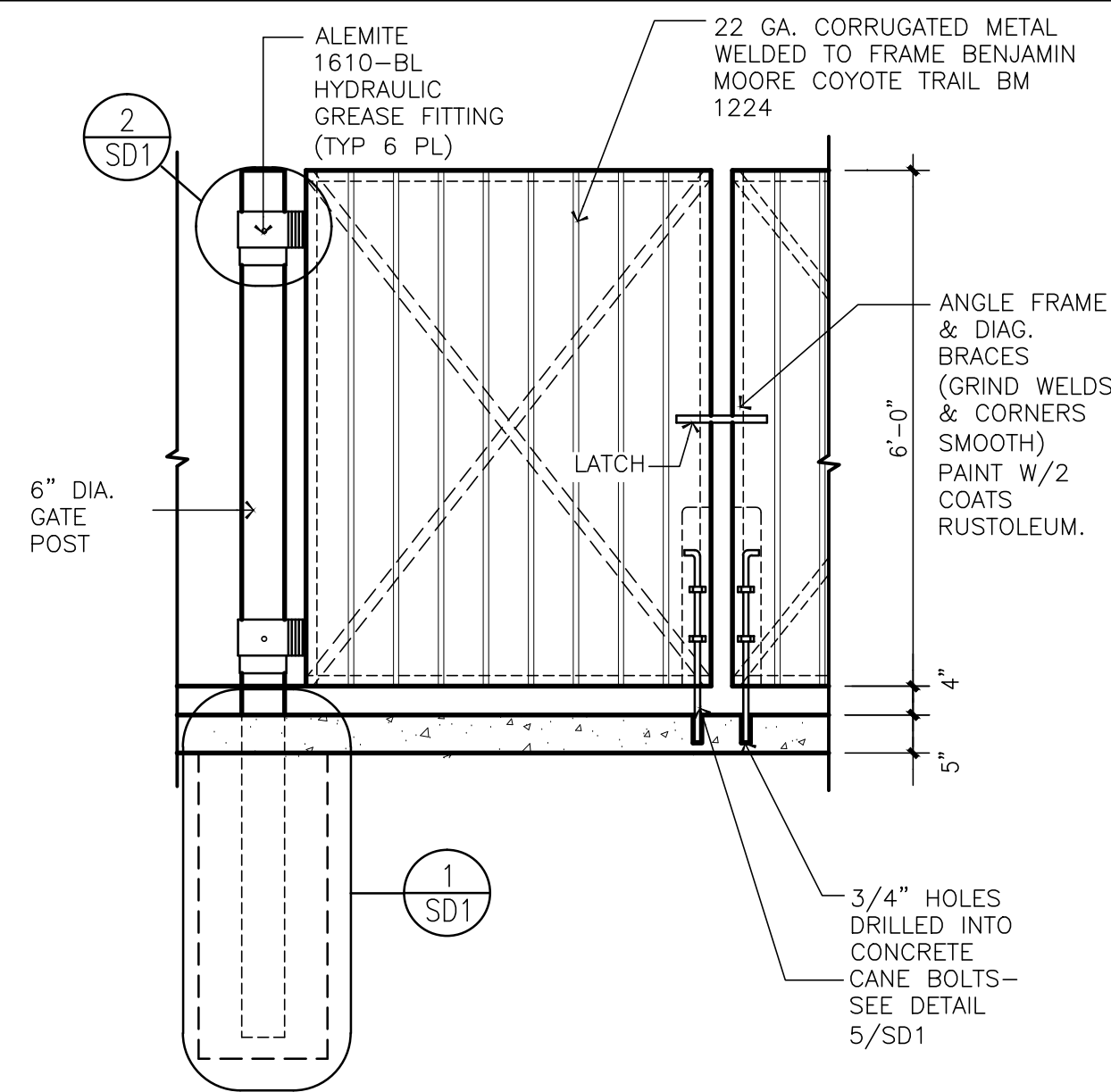
**1 TYPICAL POST DETAIL**

SD1 1 1/2" = 1'-0"



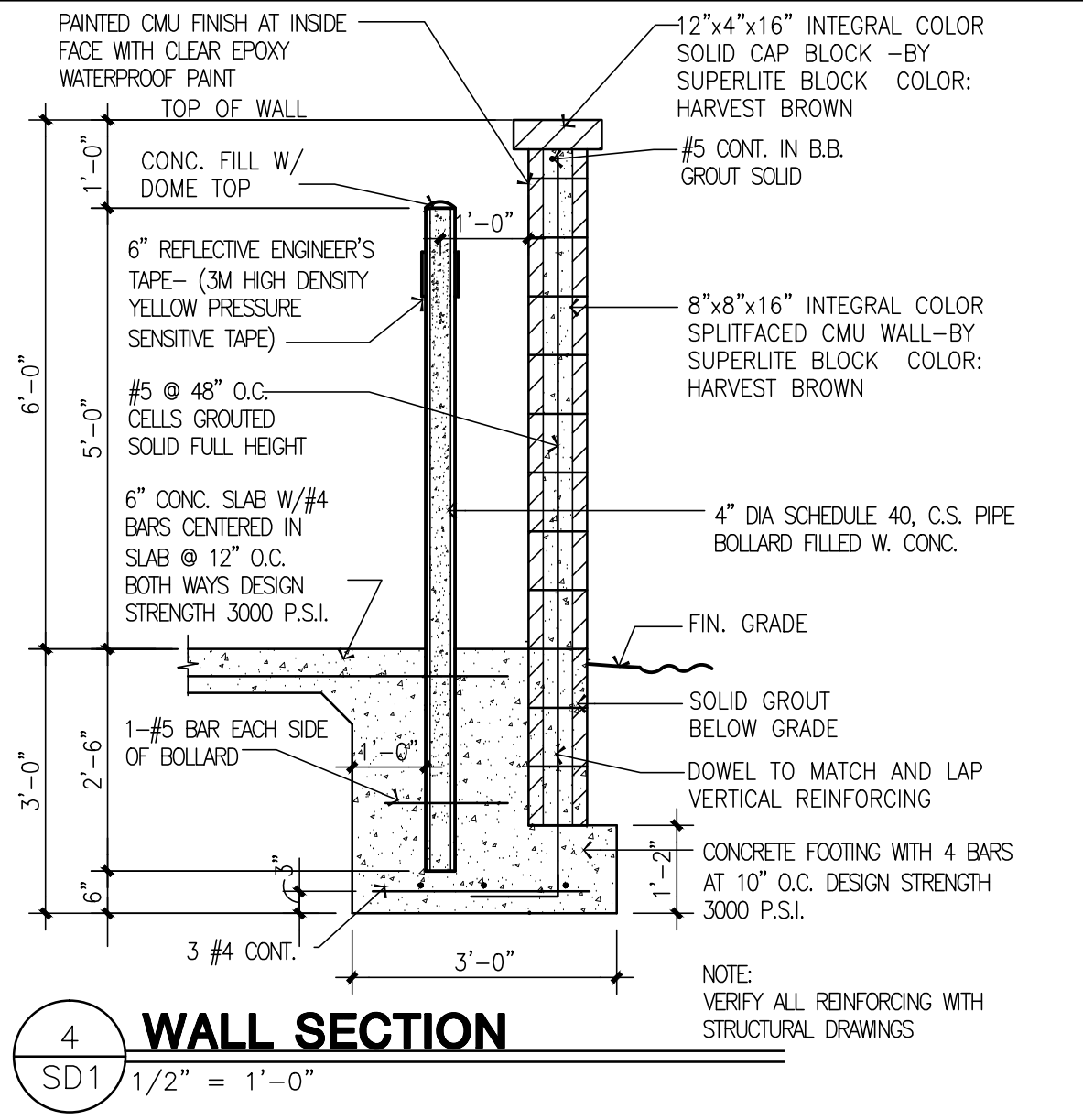
**2 HINGE DETAIL**

SD1 3/4" = 1'-0"



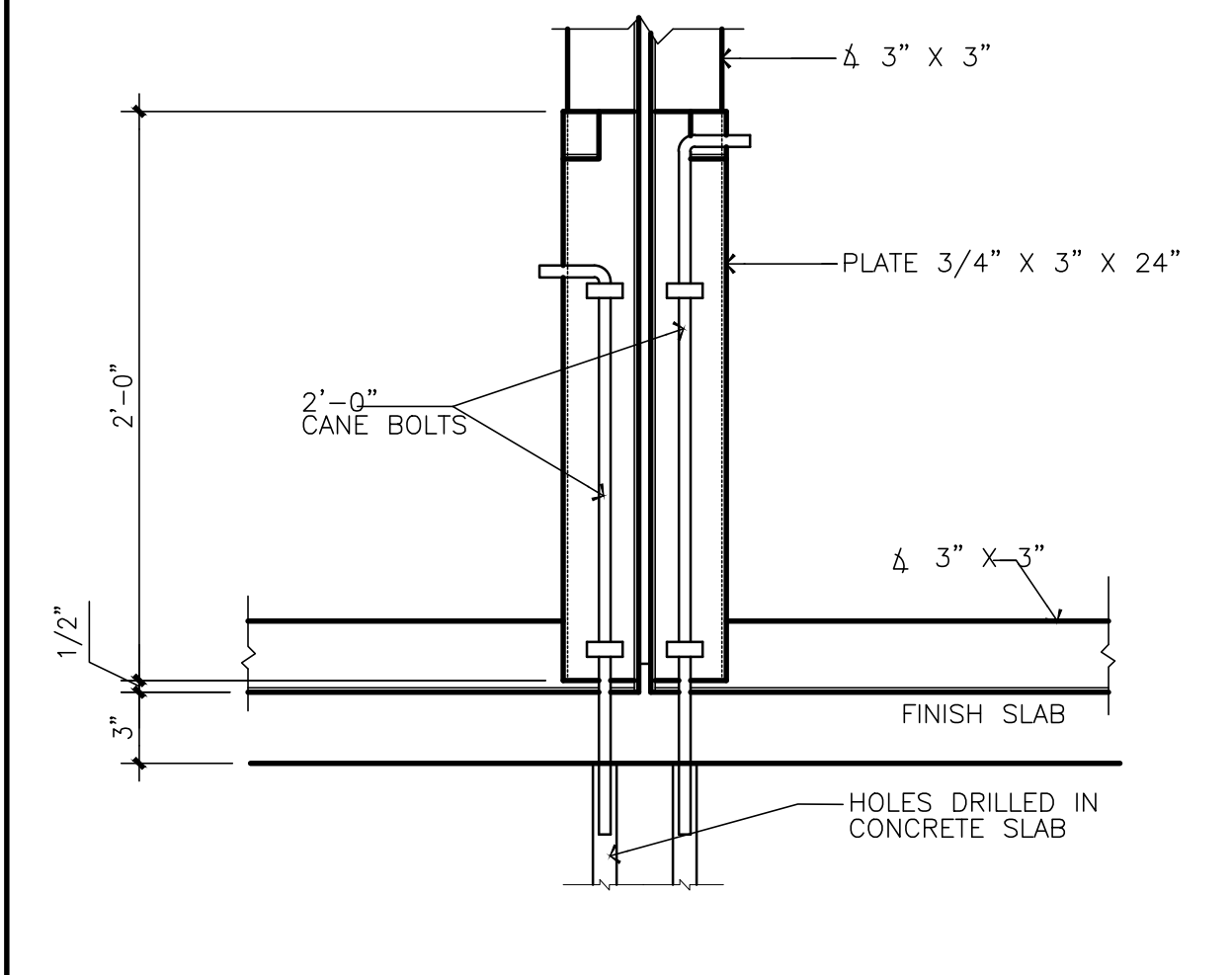
**3 GATE DETAIL**

SD1 1/2" = 1'-0"



**4 WALL SECTION**

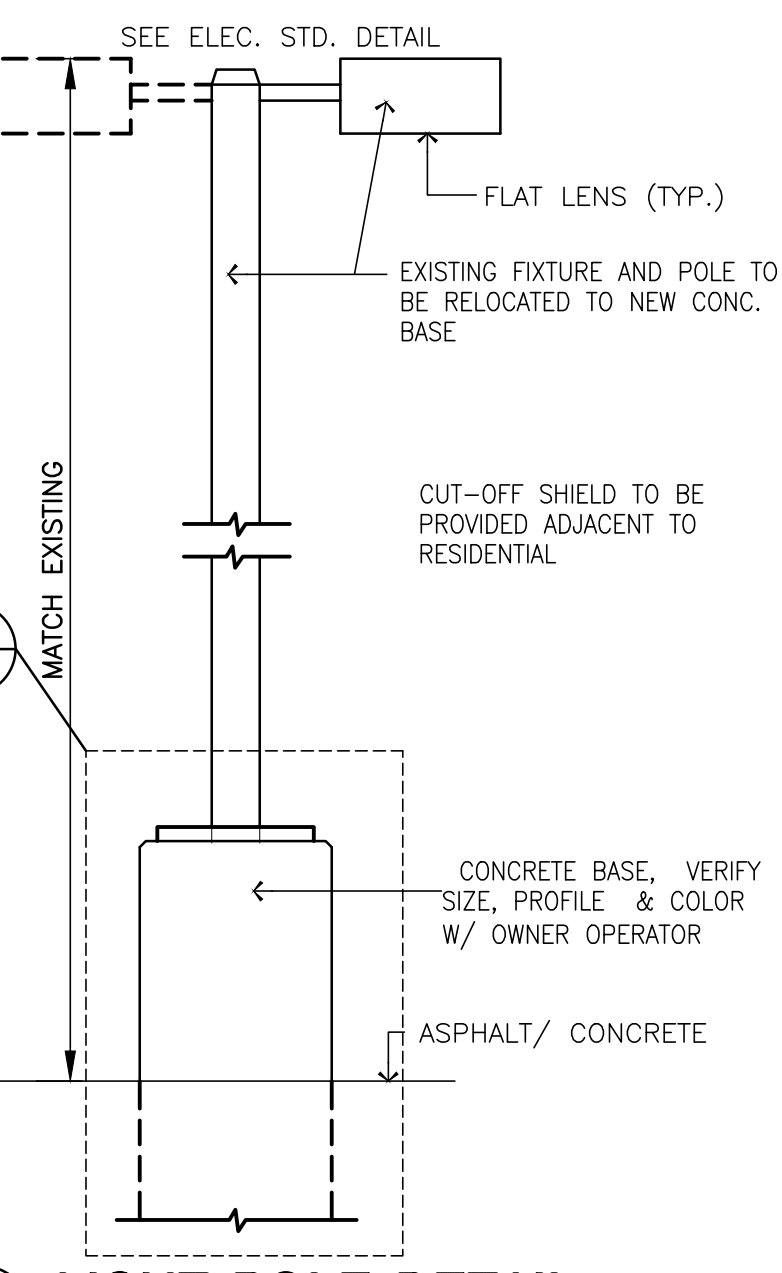
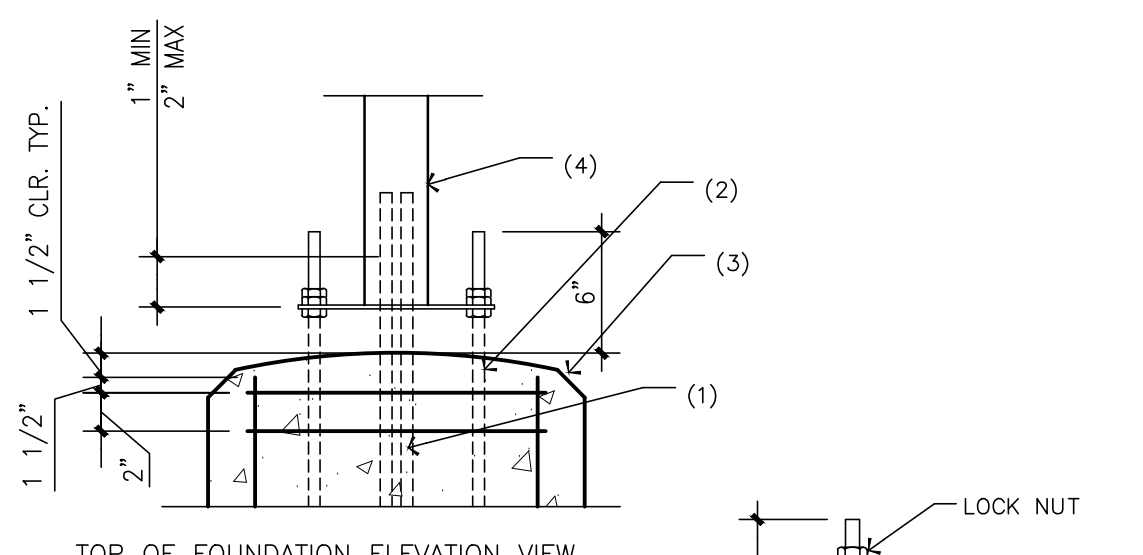
SD1 1/2" = 1'-0"



**5 CANE BOLT DETAILS**

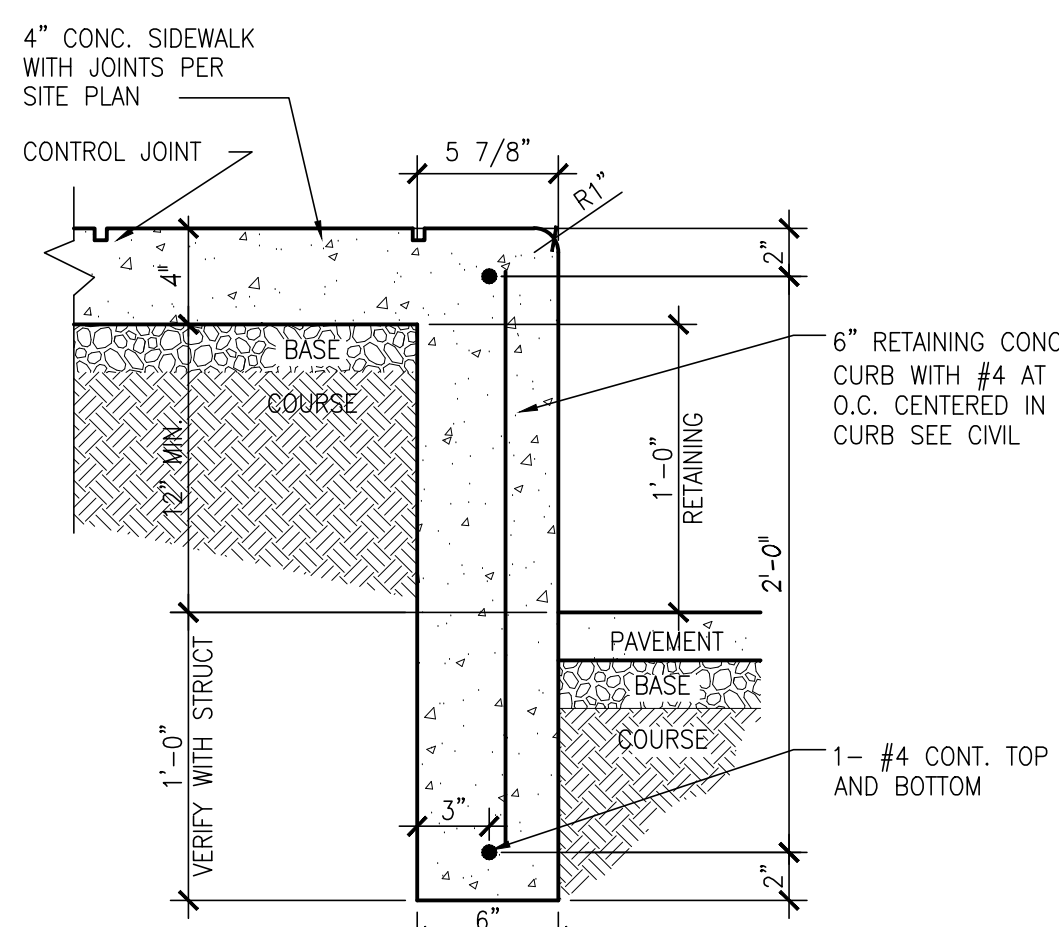
SD1 NTS

- NOTES:
- (2) 1" PVC CONDUITS, FURNISHED AND INSTALLED BY ELEC. CONTRACTOR AND CONNECTED BY EXT. LIGHTING CONTRACTOR.
  - (4) 1" x 4" ANCHOR BOLTS PER DET., FURNISHED BY EXT. LIGHTING SUPPLIER & INSTALLED BY G.C. SLOPE TOP 1/8" / FT. TO SHED WATER.
  - (8) #5 VERTICALS REINFORCING BARS FURNISHED BY EXT. LIGHTING SUPPLIER & INSTALLED BY G.C. 3'-0" PORTION TO BE FINISHED SMOOTH WITH ROUNDED CORNERS.
  - (#4) CIRCULAR TIE WITH A 21"(MIN.) LAP SPLICED.



**11 LIGHT POLE DETAIL**

SD1 NTS



**8 RETAINING CURB**

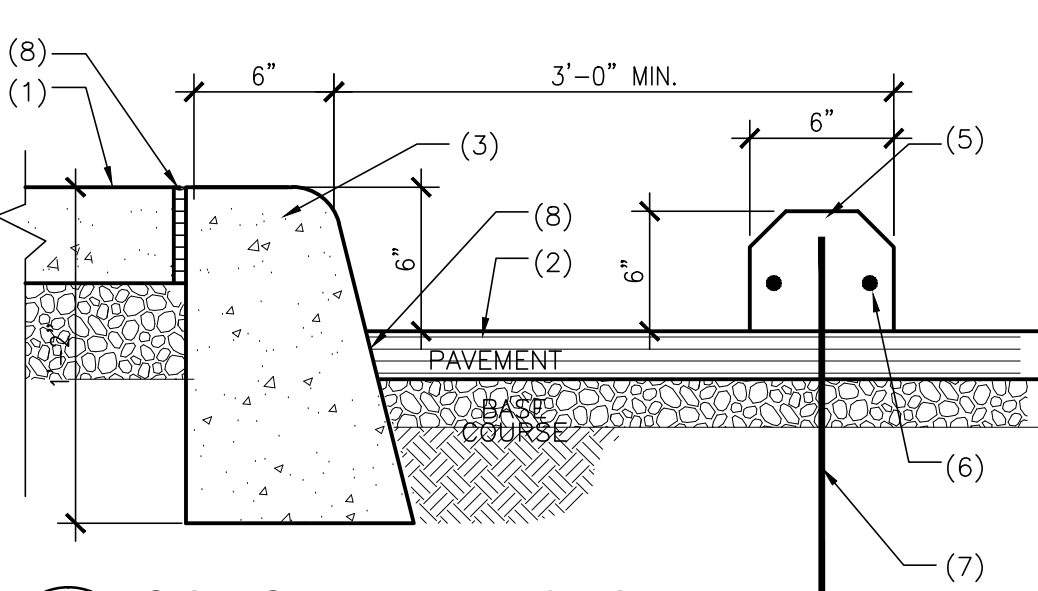
SD1 3/4" = 1'-0"

**9 NOT USED**

SD1 1/2" = 1'-0"

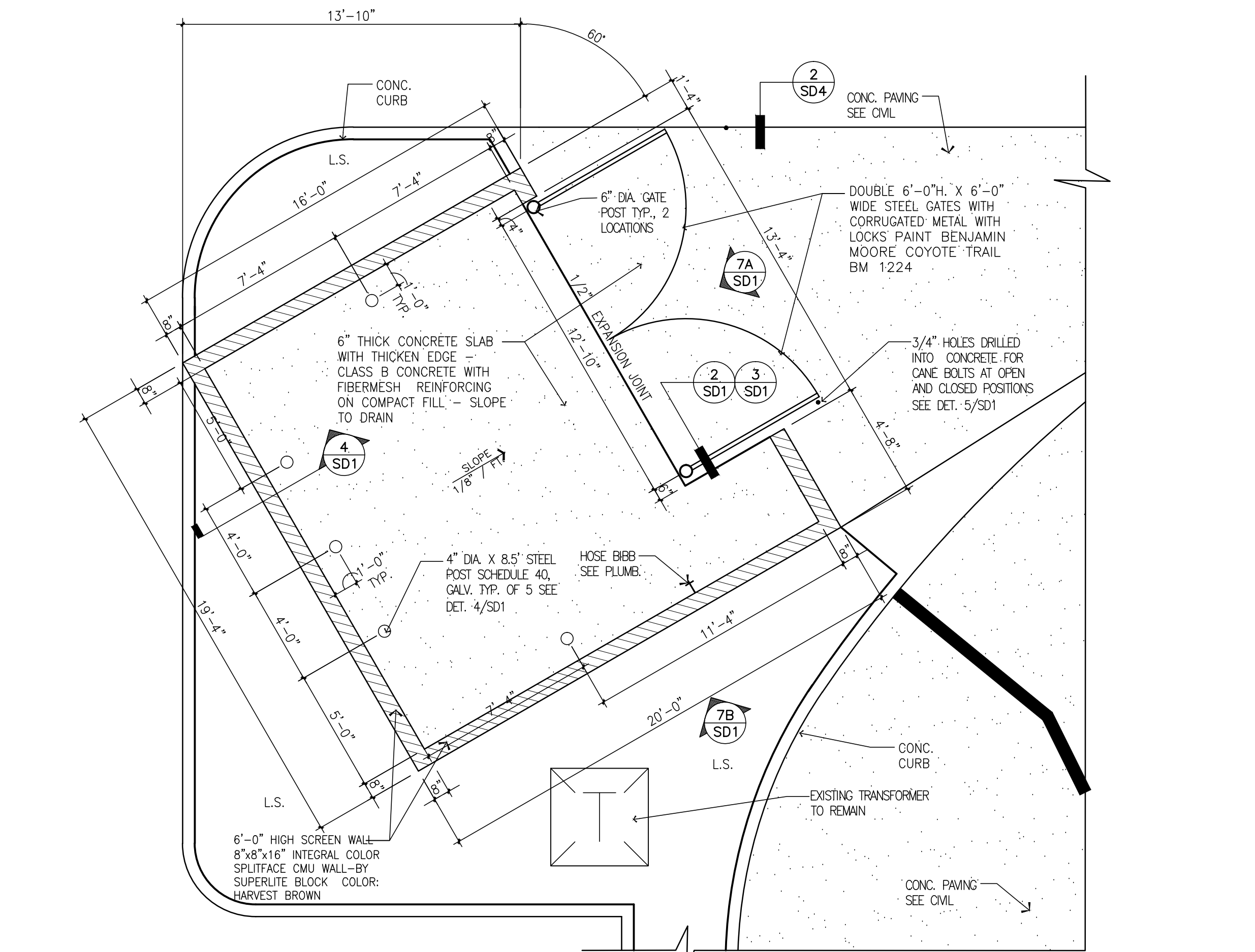
**NOTES**

- 4" CONC. SIDEWALK WITH JOINTS PER SITE PLAN
- PAVING OVER AGGREGATE BASE SEE CIVIL FOR MORE INFORMATION
- CONC CURB PER DET. 7/SD2
- CONTROL JOINT
- 6" LONG PRECAST CONC. WHEEL STOP CENTERED IN PARKING STALL
- 2 CONT. #4 BAR
- 3/4" REINFORCING BAR EMBEDDED INTO PAVEMENT PER MANUFACTURER'S RECOMMENDATIONS
- 1/2" EXPANSION JOINT



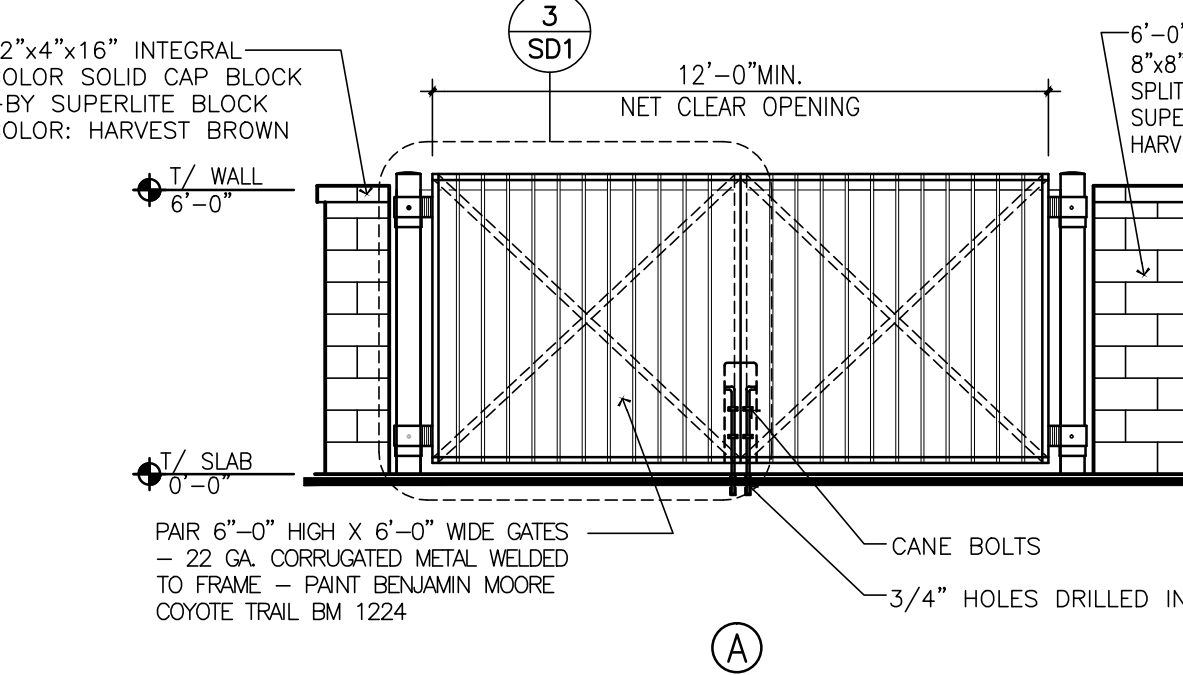
**10 CONC. WHEEL STOP**

SD1 1-1/2" = 1'-0"



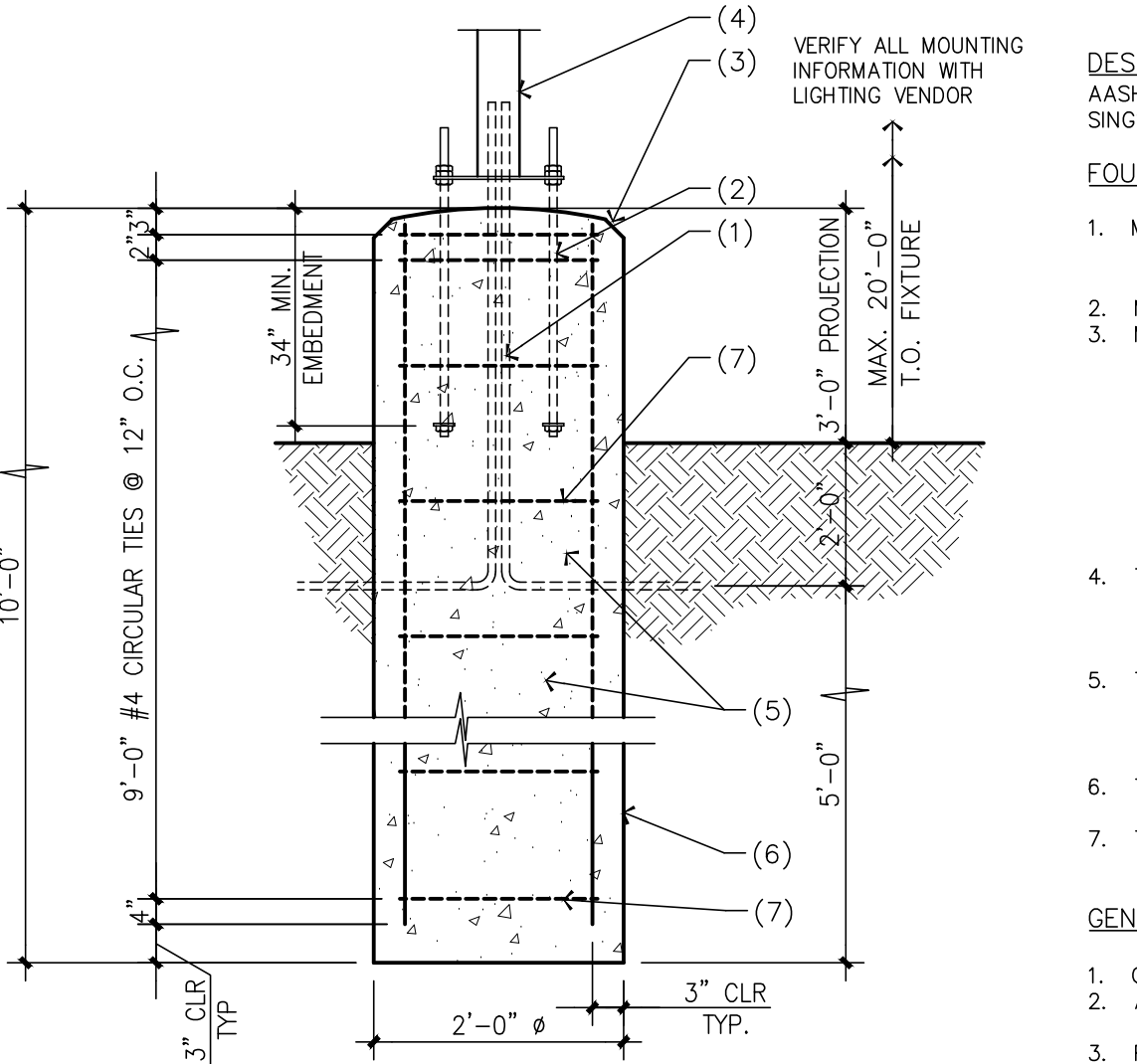
**6 REFUSE ENCLOSURE PLAN VIEW**

SD1 1/4" = 1'-0"



**7 REFUSE ENCLOSURE ELEVATION**

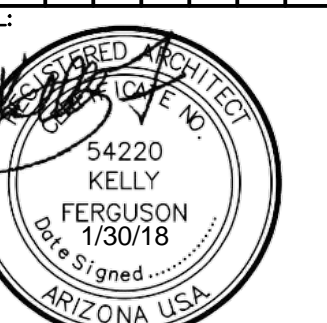
SD1 1/4" = 1'-0"



**12 LIGHT BASE DETAIL**

SD1 NTS

- DESIGN CRITERIA:**  
AASHTO STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNALS LUMINARIES AND TRAFFIC SIGNAL, FIFTH EDITION 2009
- FOUNDATION DESIGN:**
- MAXIMUM LIGHT POLE BASE REACTIONS  
- BASE MOMENT = 16,845 LBS.-FT.  
- BASE SHEAR = 978 LBS.
  - MAXIMUM WIND SPEED (3 SECOND GUST) = 120 MPH
  - MINIMUM REQUIRED SOIL PARAMETERS:  
- COHESIVE SOILS:  
- SHEAR STRENGTH = 750 LBS./SQ.FT.  
- 6" MAXIMUM DEPTH OF DISTURBED SOIL OR TOP SOIL  
- COHESIONLESS SOILS:  
- ANGLE OF INTERNAL FRICTION = 27 DEGREES  
- WATER TABLE SHALL BE LOCATED BELOW THE BOTTOM OF THE FOUNDATION  
- 6" MAXIMUM DEPTH OF DISTURBED SOIL OR TOP SOIL
  - THE SOILS REPORT SHALL BE REVIEWED BY THE ENGINEER OF RECORD TO CONFIRM THAT THE MINIMUM SOIL PARAMETERS ARE MET OR EXCEEDED BEFORE THE DESIGN IS USED. IF THE MINIMUM SOIL PARAMETERS ARE NOT MET, THIS DESIGN SHALL NOT BE USED.
  - THE ENGINEER OF RECORD SHALL REVIEW THE MAXIMUM BASE REACTIONS AND DESIGN WIND SPEED FOR THE LIGHT POLE TO BE INSTALLED TO DETERMINE IF THE FOUNDATION'S MAXIMUM DESIGN LOADS OR WIND SPEED HAVE BEEN EXCEEDED.
  - THIS FOUNDATION DESIGN SHALL NOT BE USED IN LOCATIONS WHICH ARE CLOSER THAN 8 FT. FROM RETAINING WALL.
  - THIS FOUNDATION DESIGN SHALL NOT BE USED AT LOCATIONS WHERE THE GROUND SLOPE EXCEED 4 INCHES PER FT.
- GENERAL NOTES:**
- CONCRETE COMPRESSIVE STRENGTH (f<sub>c</sub>) SHALL BE A MINIMUM OF 3000PSI
  - ANCHOR BOLTS SHALL BE ASTM F1554 GRADE 55, HOT DIP GALVANIZED PER ASTM F2329.
  - REINFORCING STEEL SHALL BE ASTM A615 GRADE 60.
  - NUTS SHALL BE HEAVY HEX ASTM A563 GRADE DH, HOT DIP GALVANIZED PER ASTM A153.
  - PLATE SHALL BE ASTM A572 GRADE 50, HOT DIP GALV. PER ASTM 153.
  - LOCK NUT SHALL BE HOT DIP GALVANIZED PER ASTM A153.



Expires: 12/31/18

RBA PROJECT NO: 15049

**Robert Brown Architects**  
architect + planning  
88 south san marcos place  
chandler - arizona - 85225  
P 480.377.2222  
www.robertbrownarchitects.com

PREPARED BY:

**McDonald's USA, LLC**  
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DESIGNED BY: KF  
APPROVED BY: KF  
DATE PREPARED: 02.01.2018

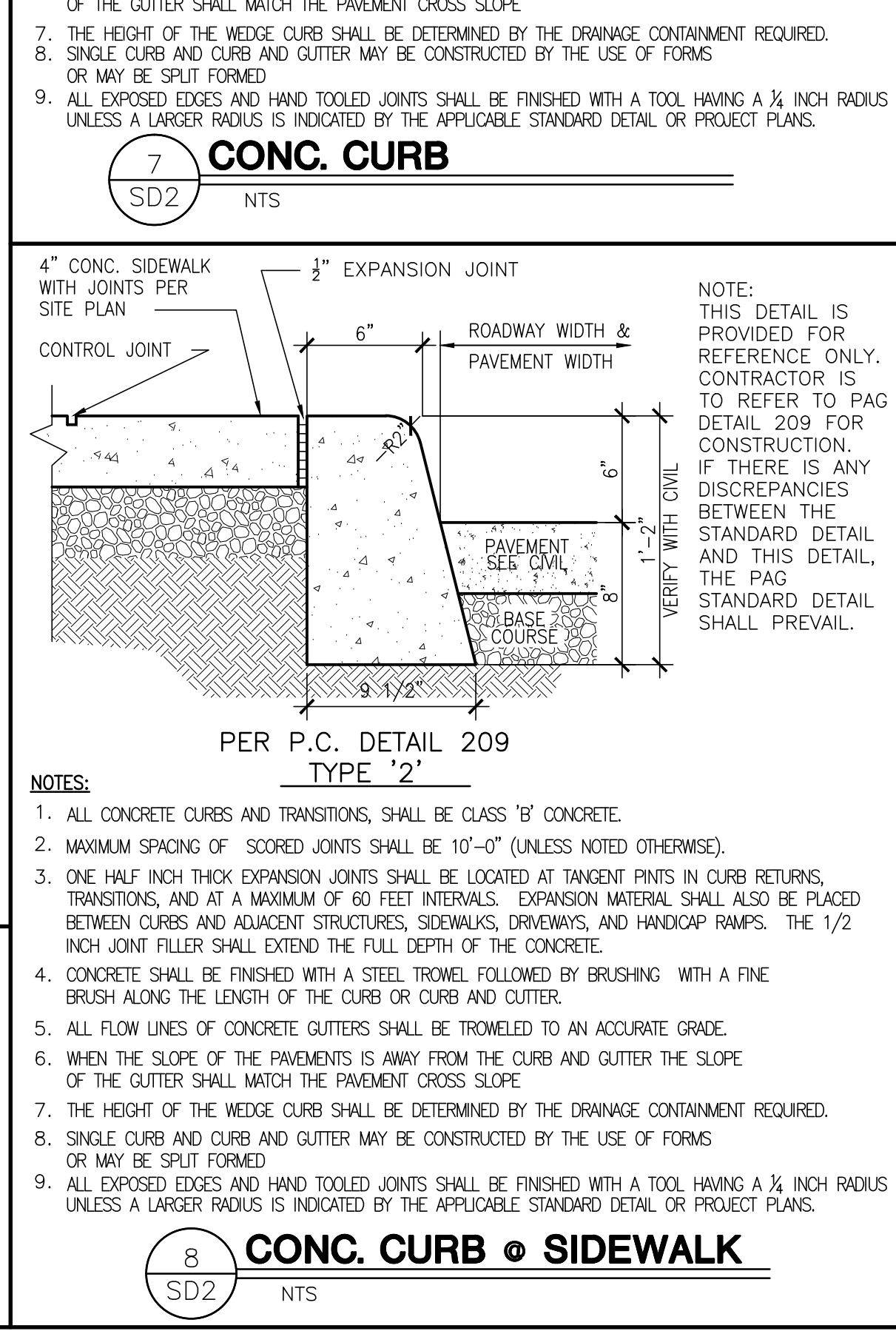
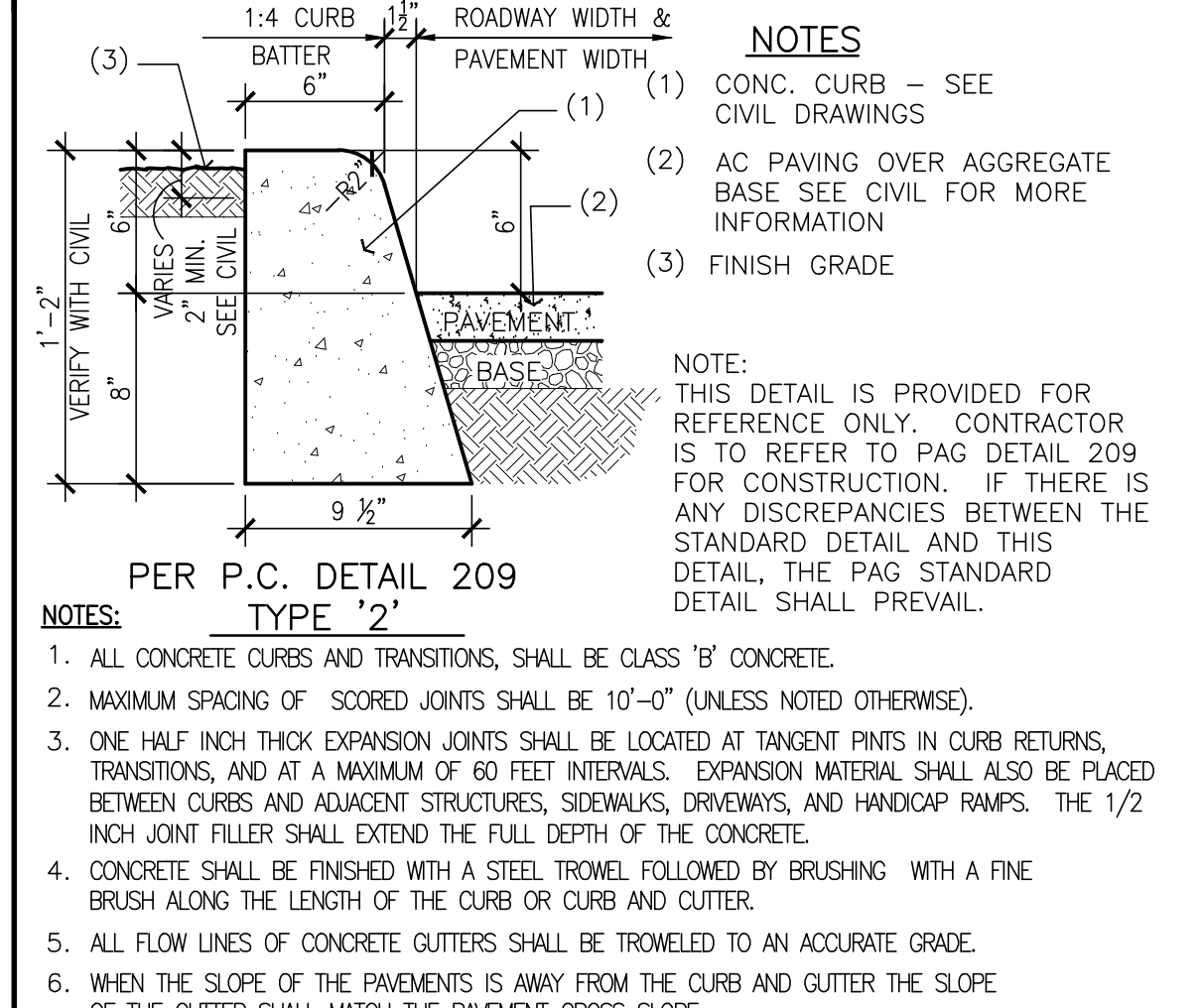
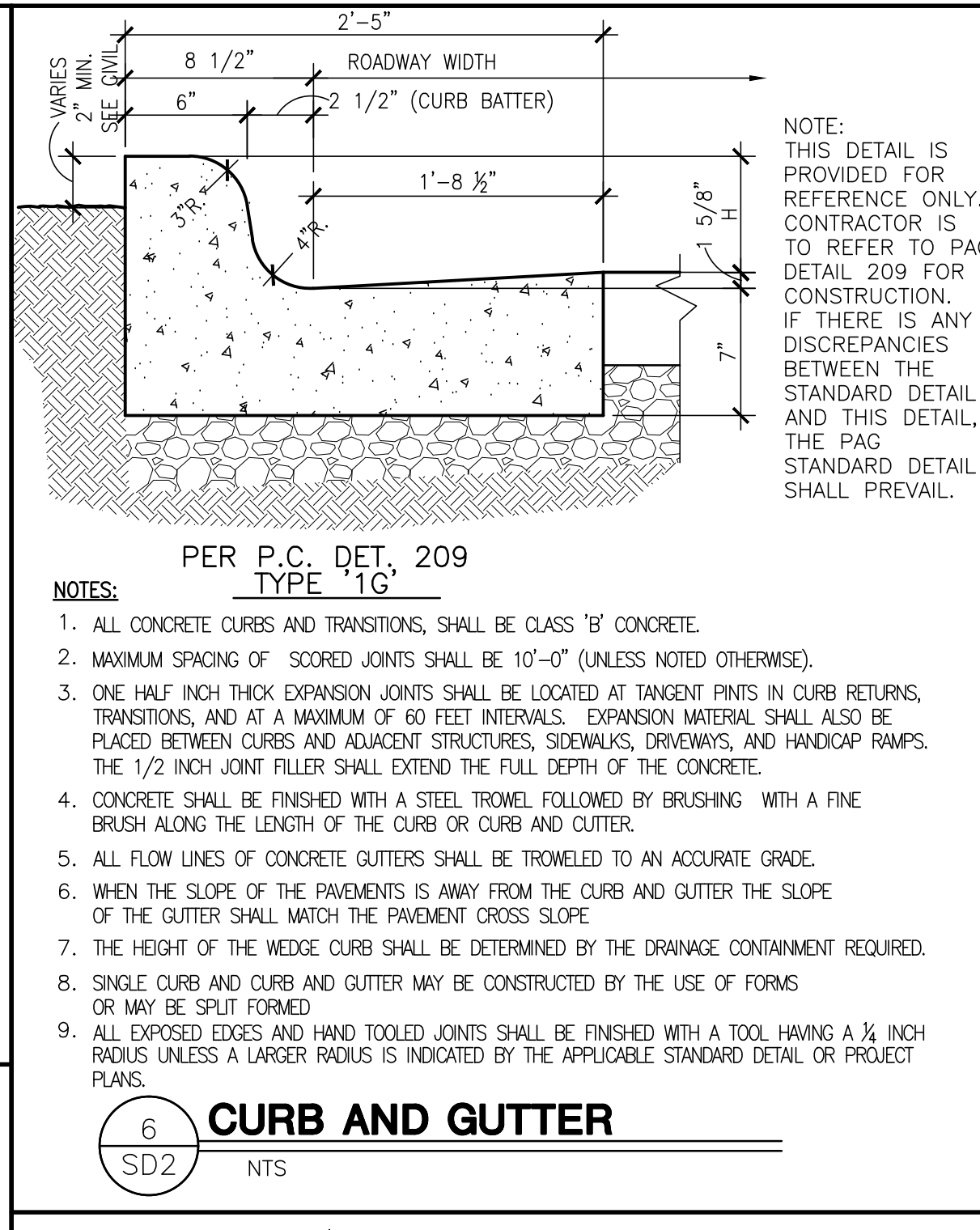
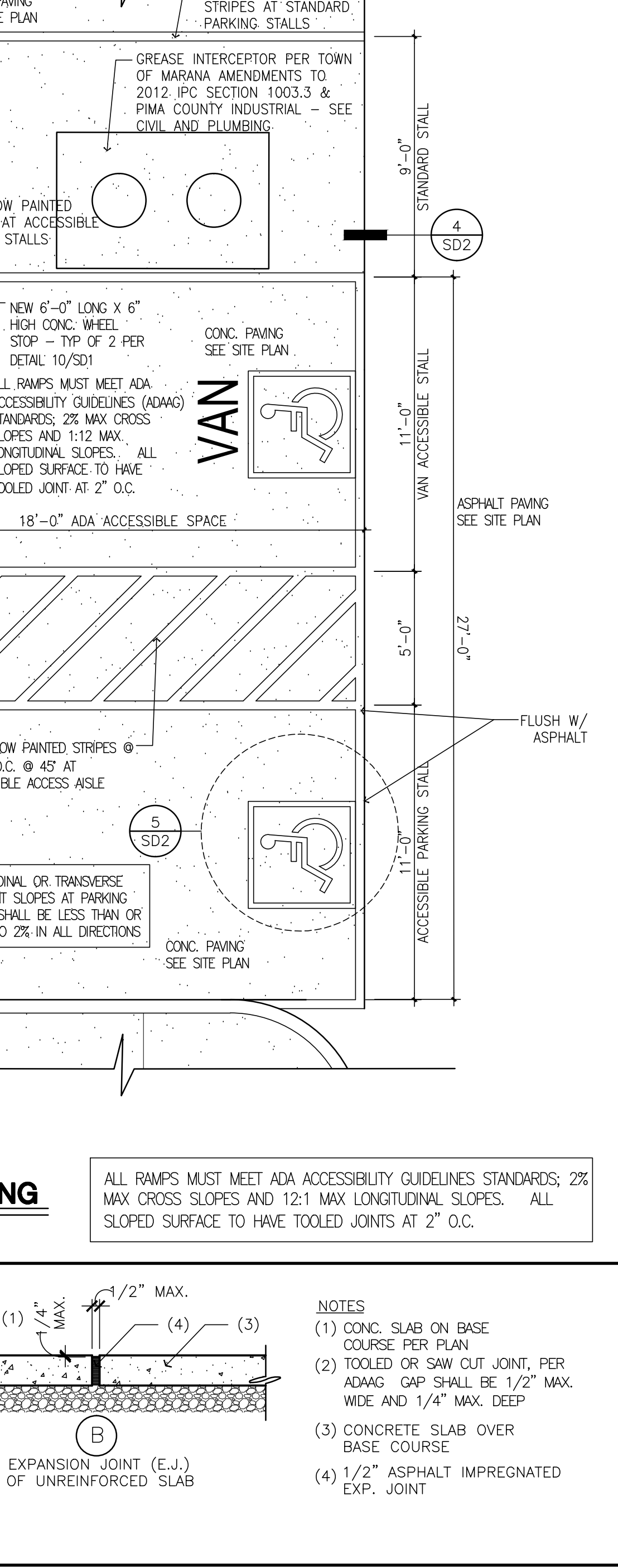
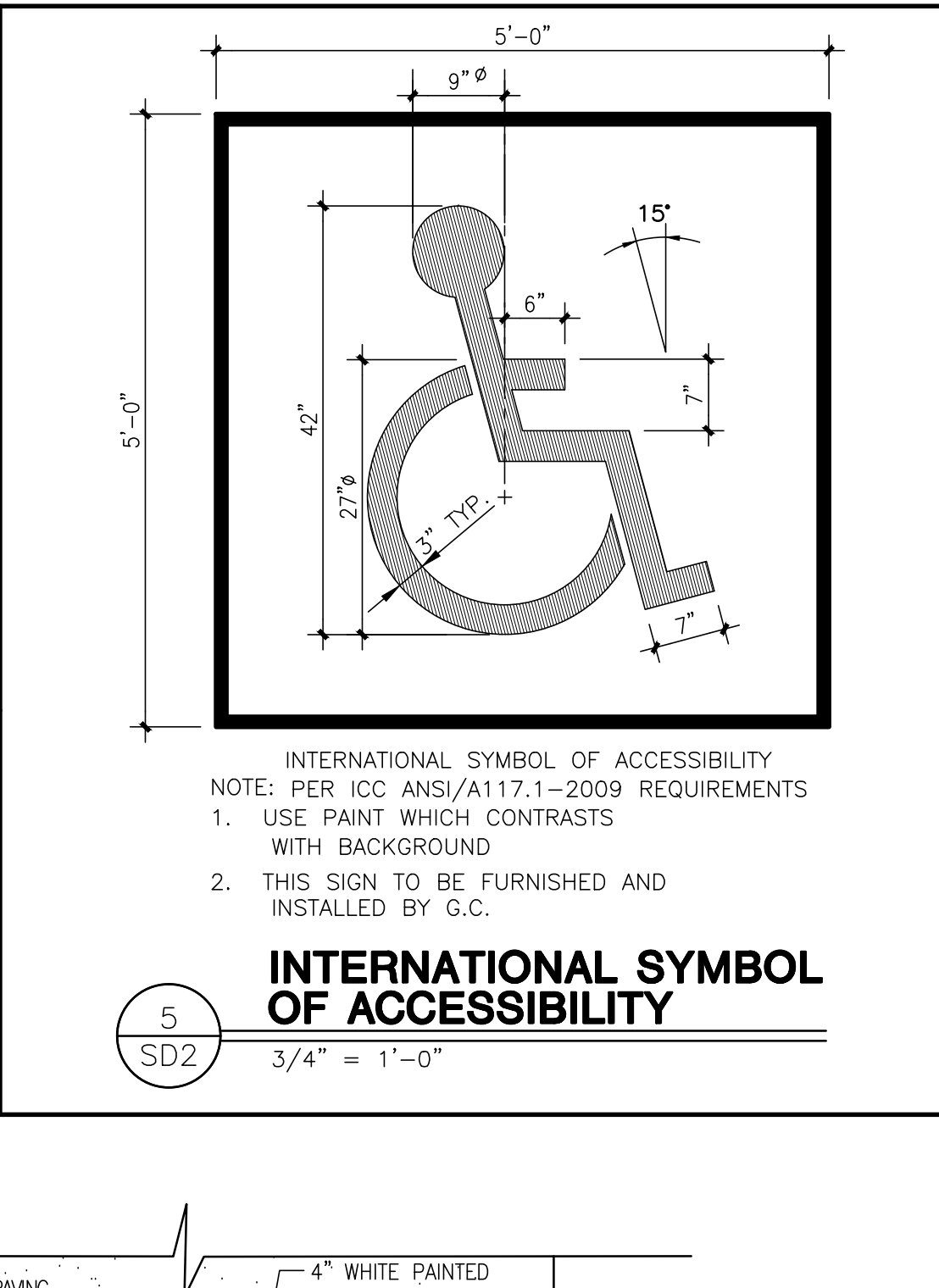
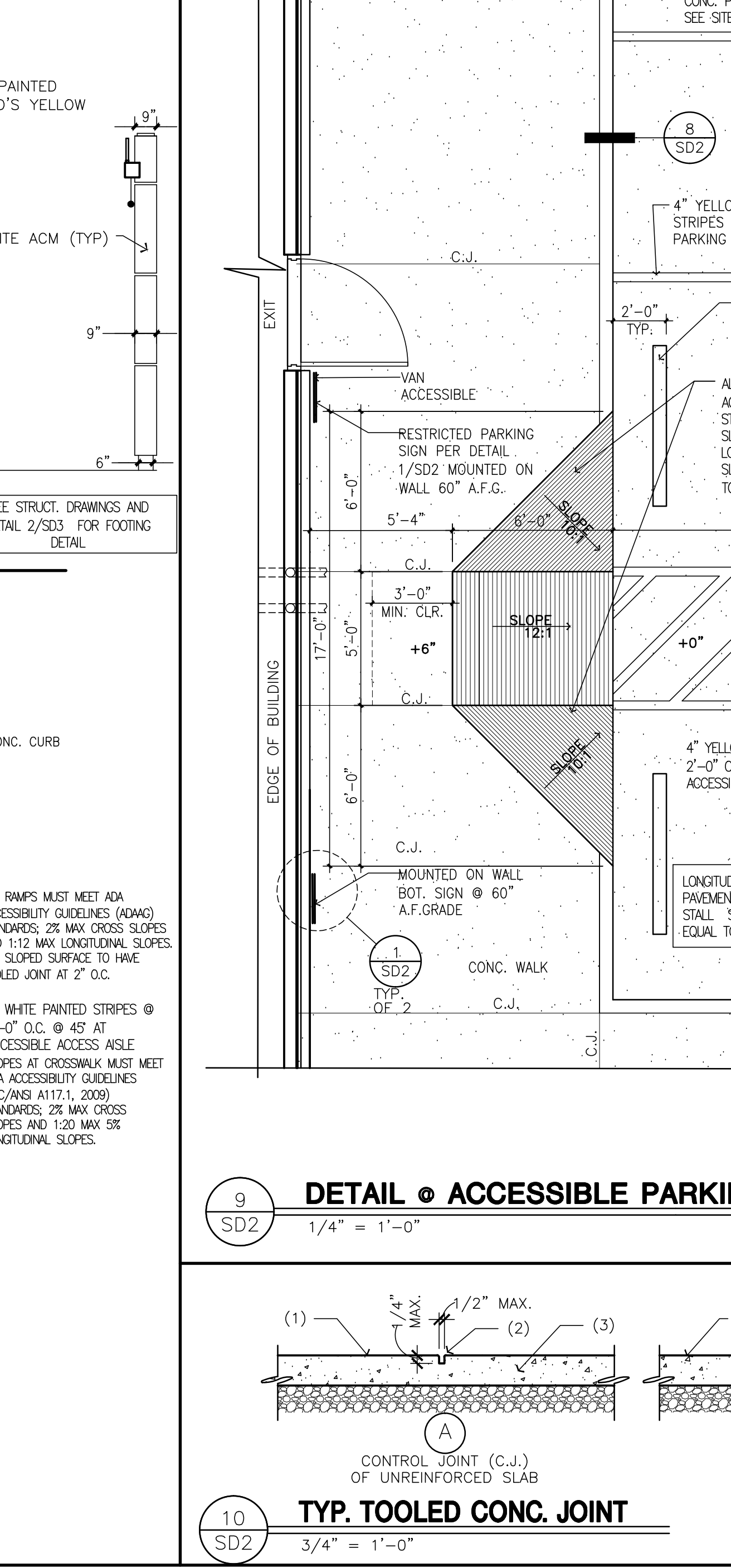
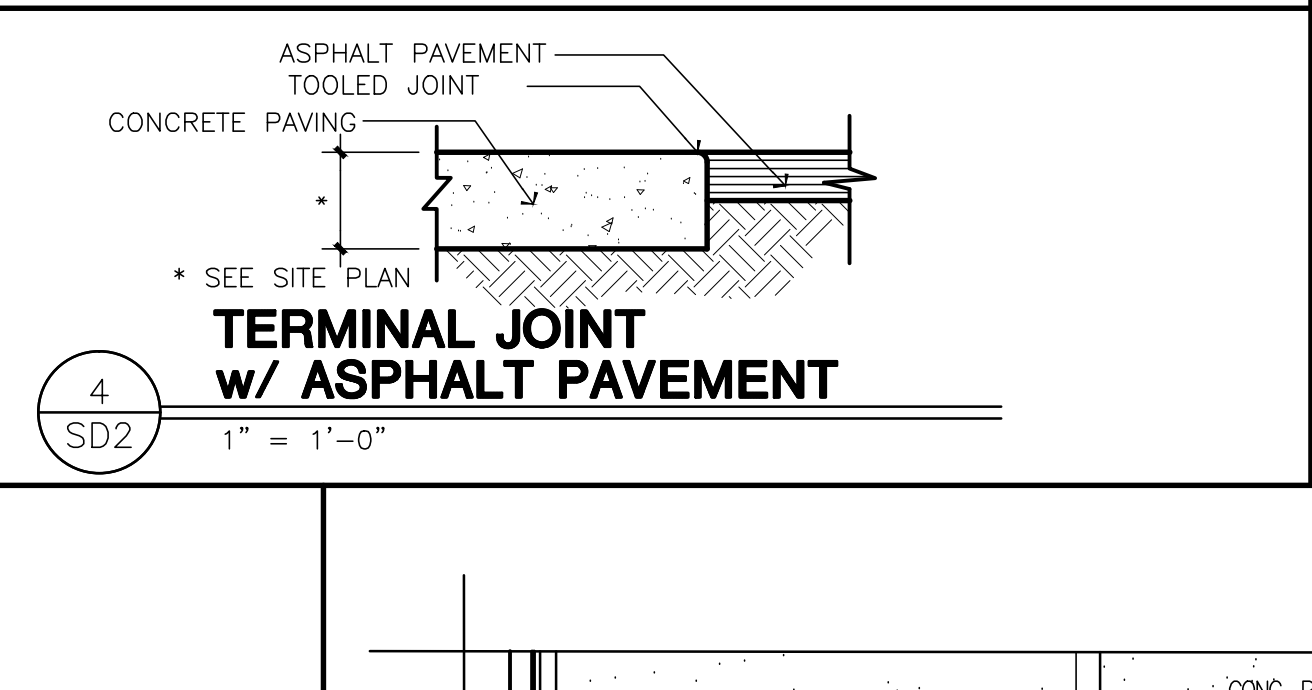
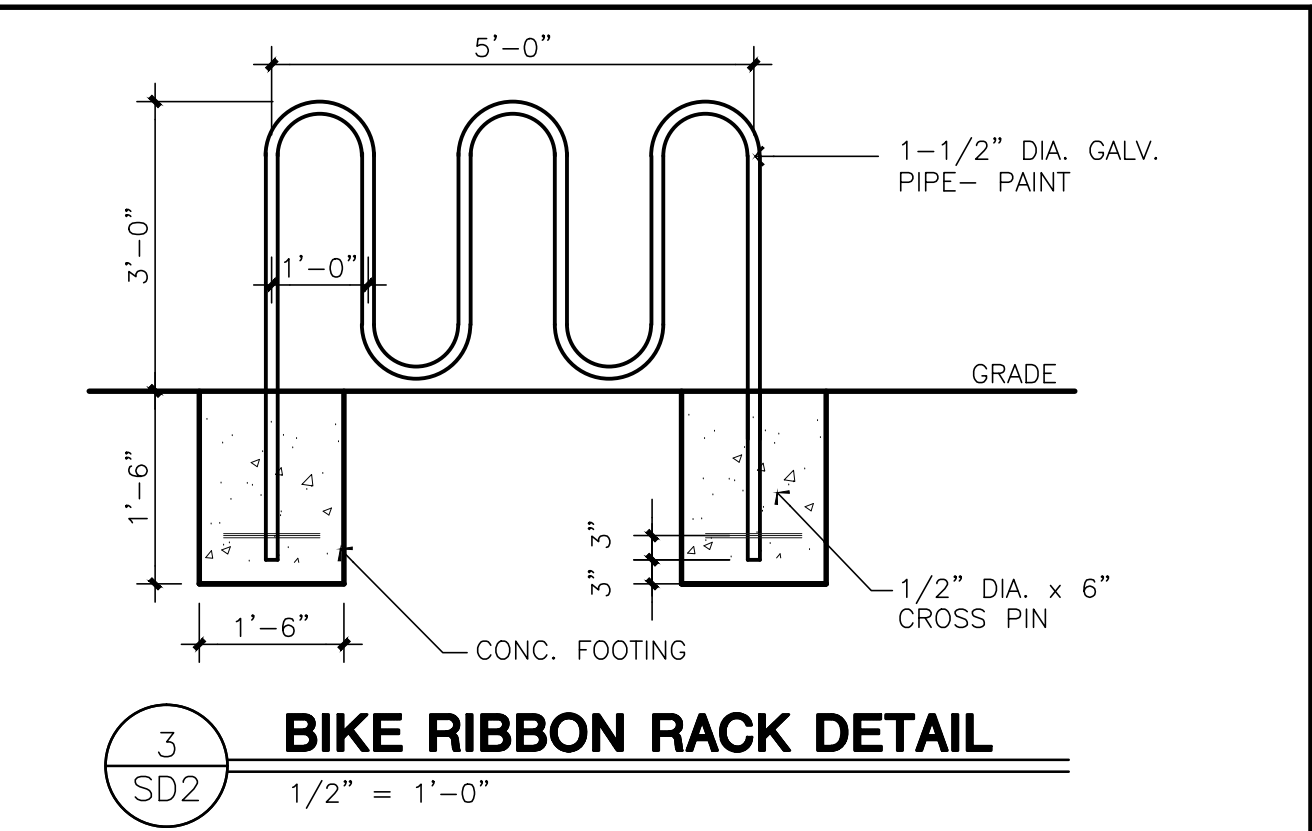
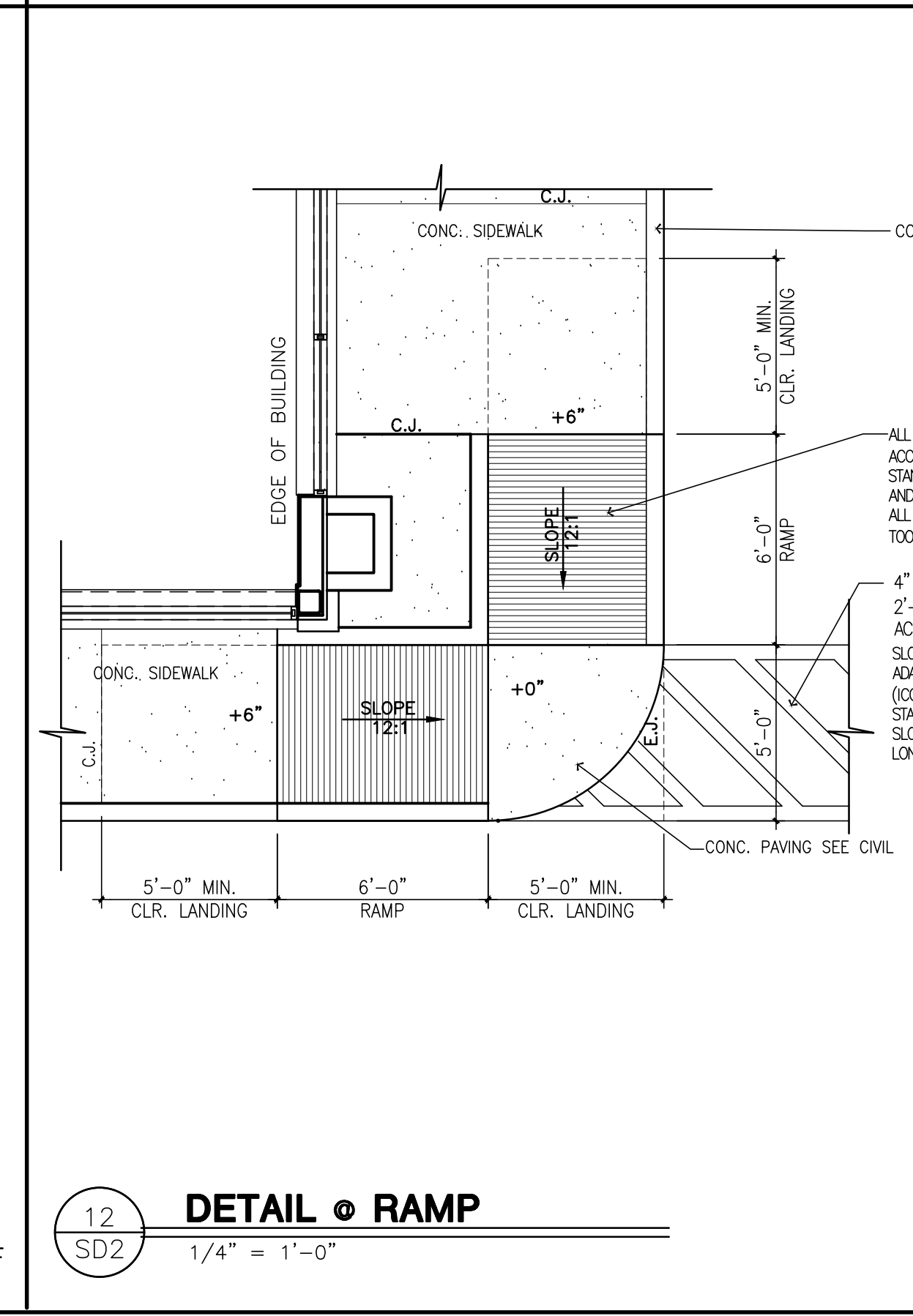
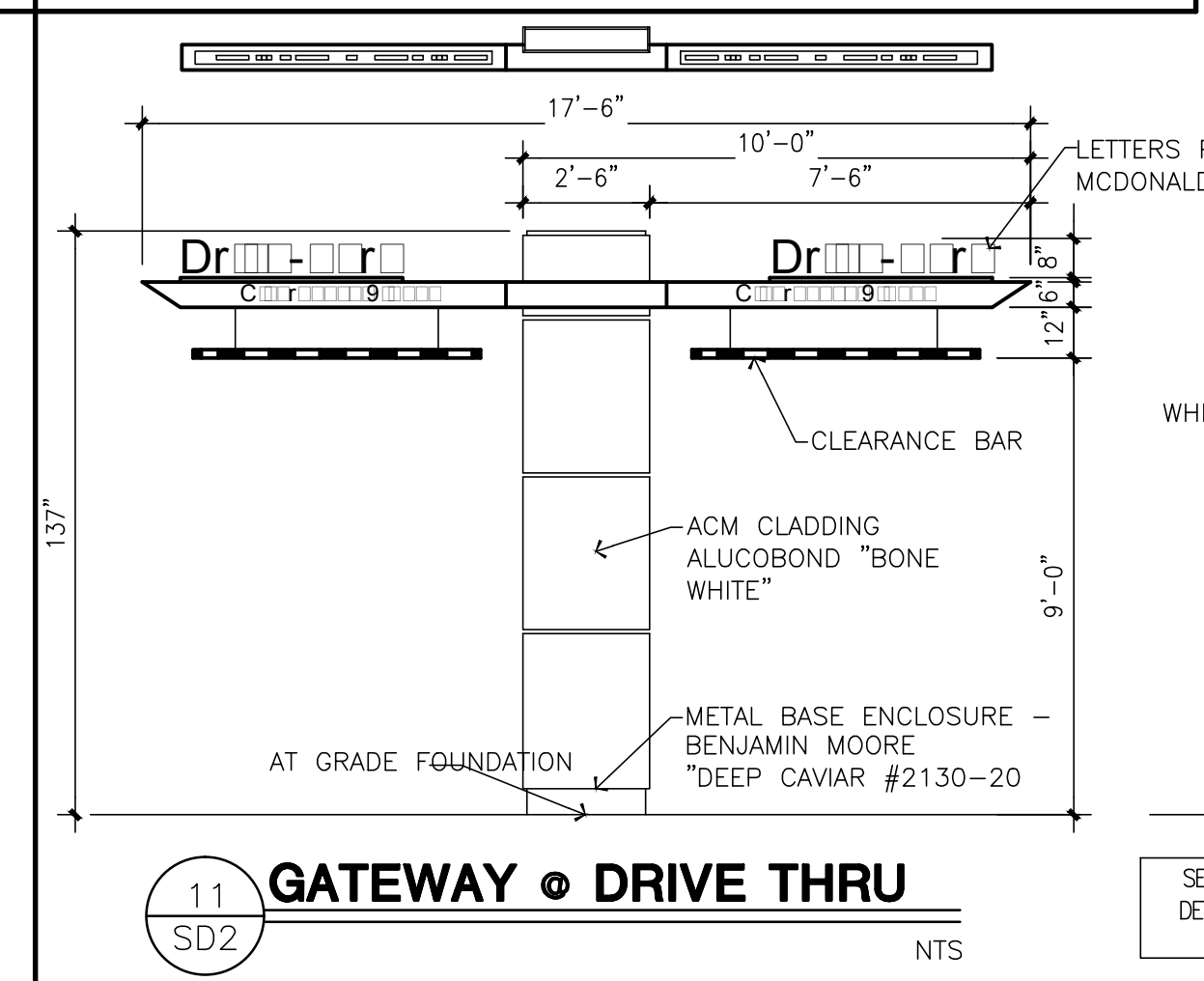
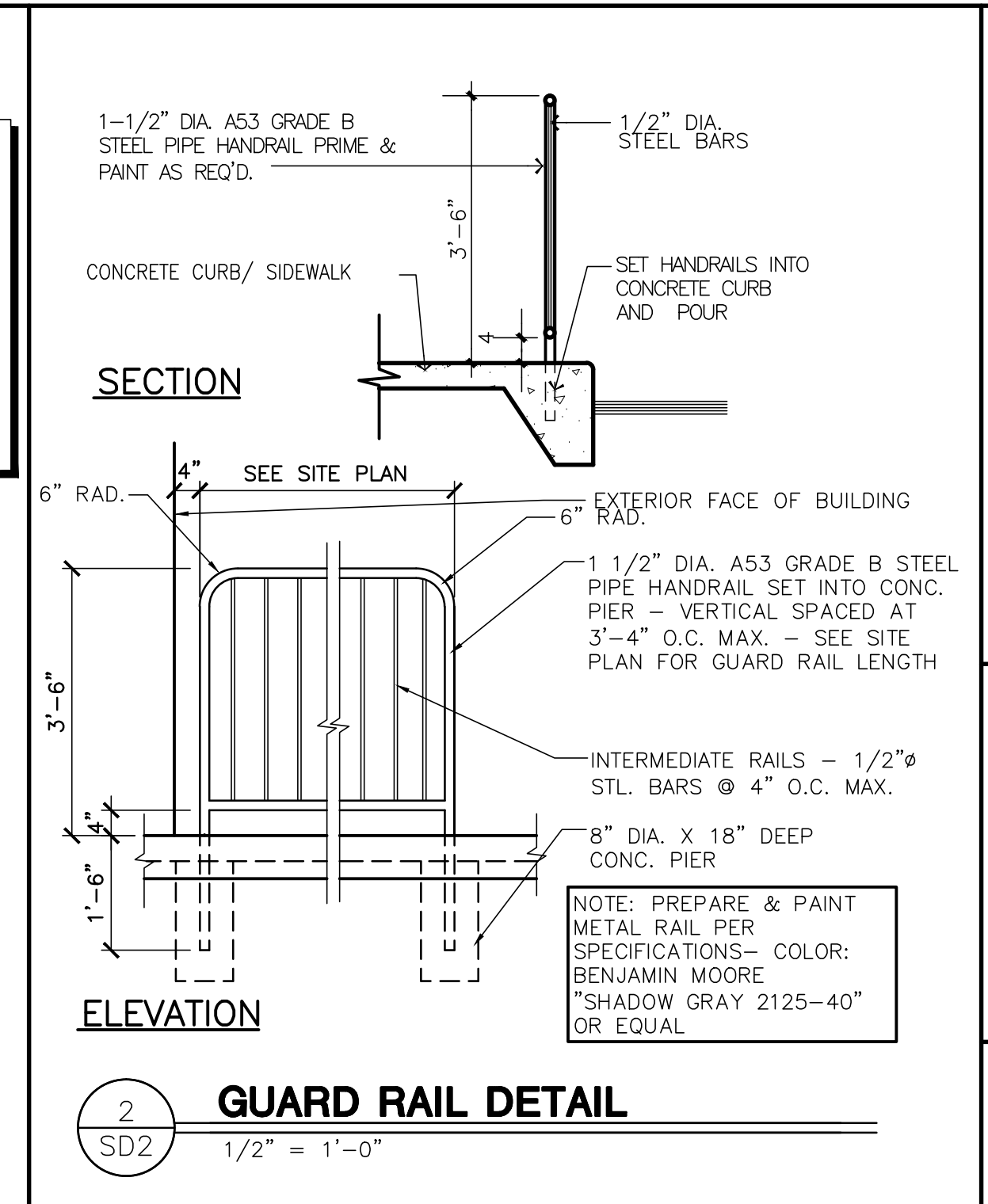
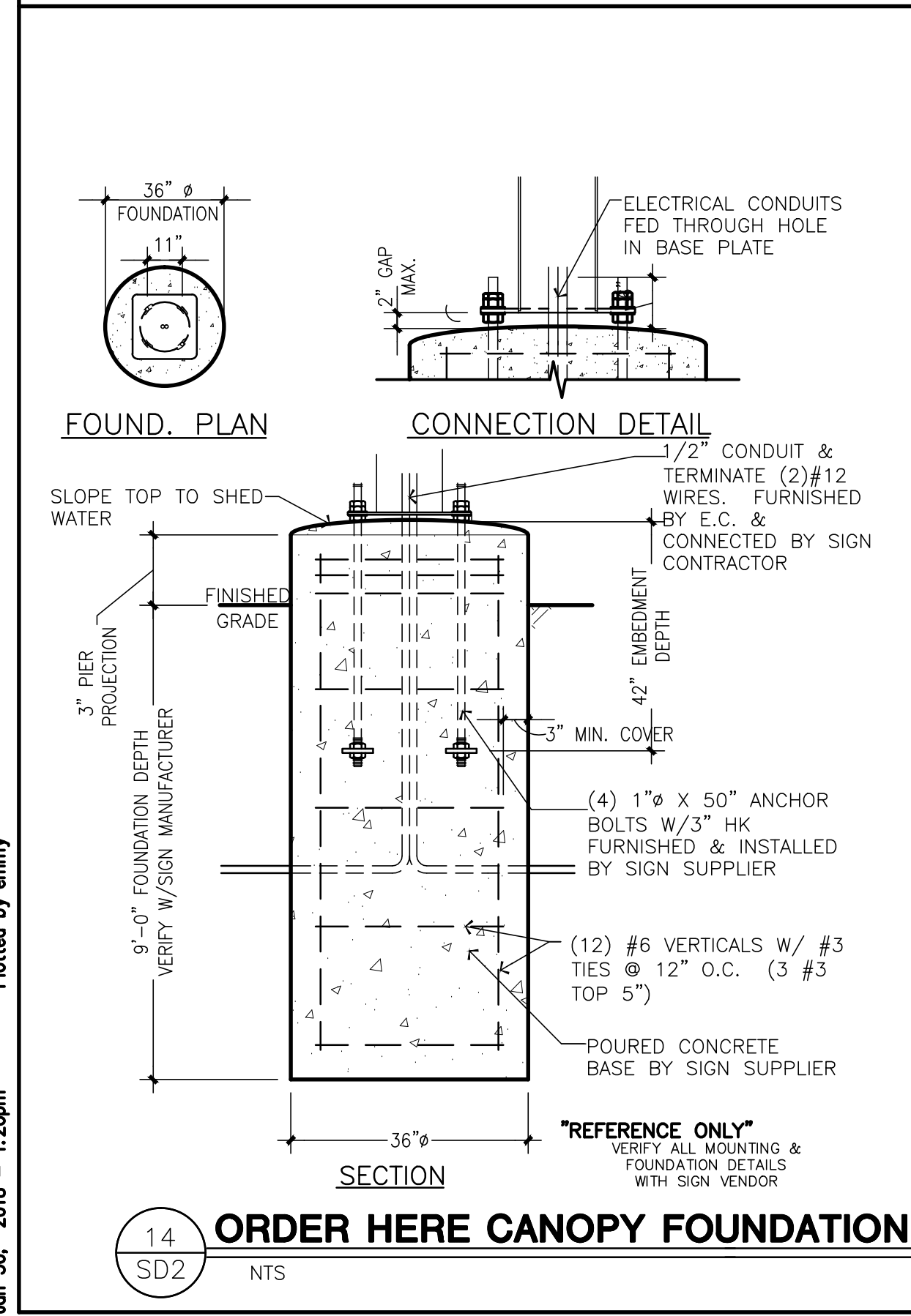
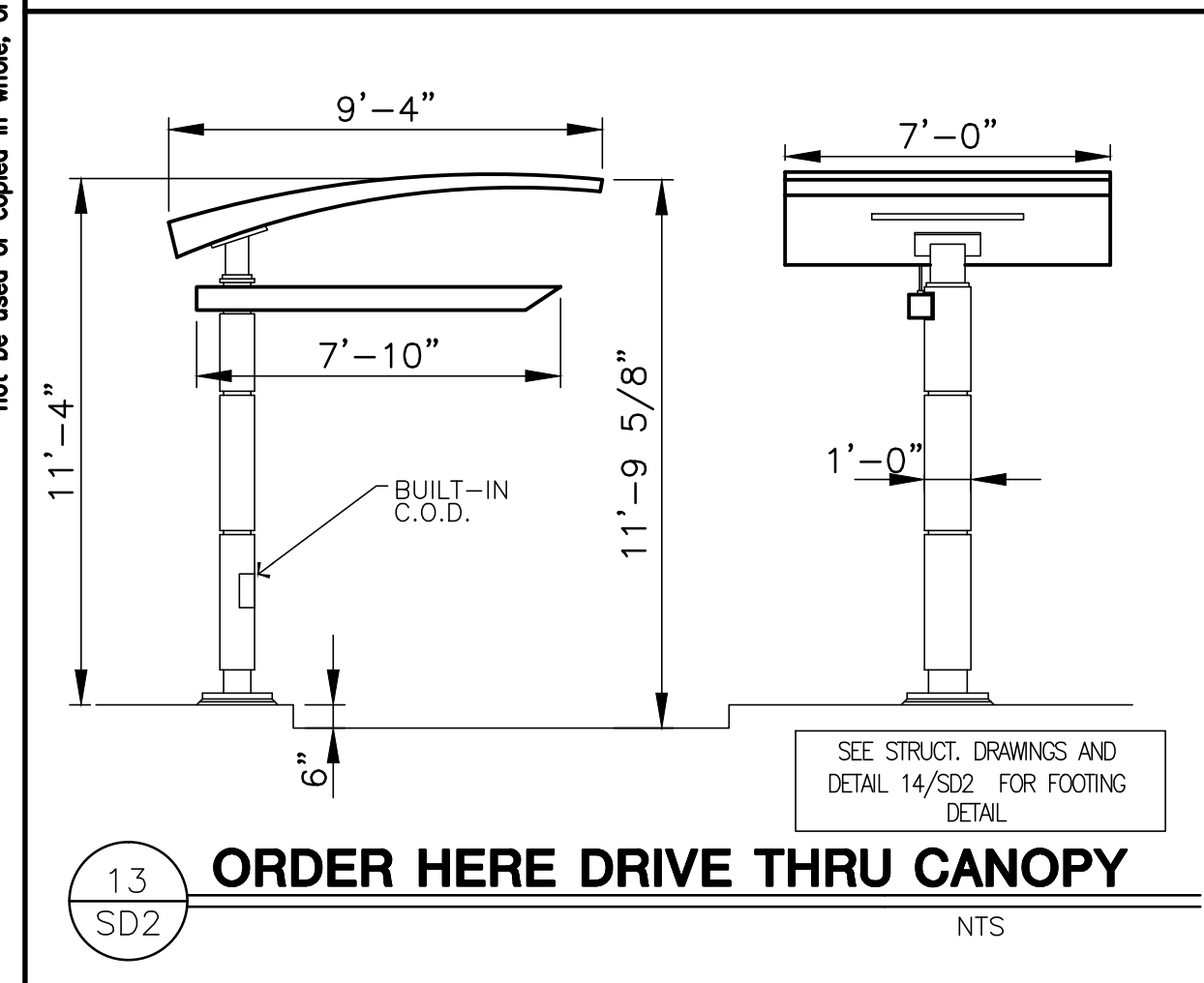
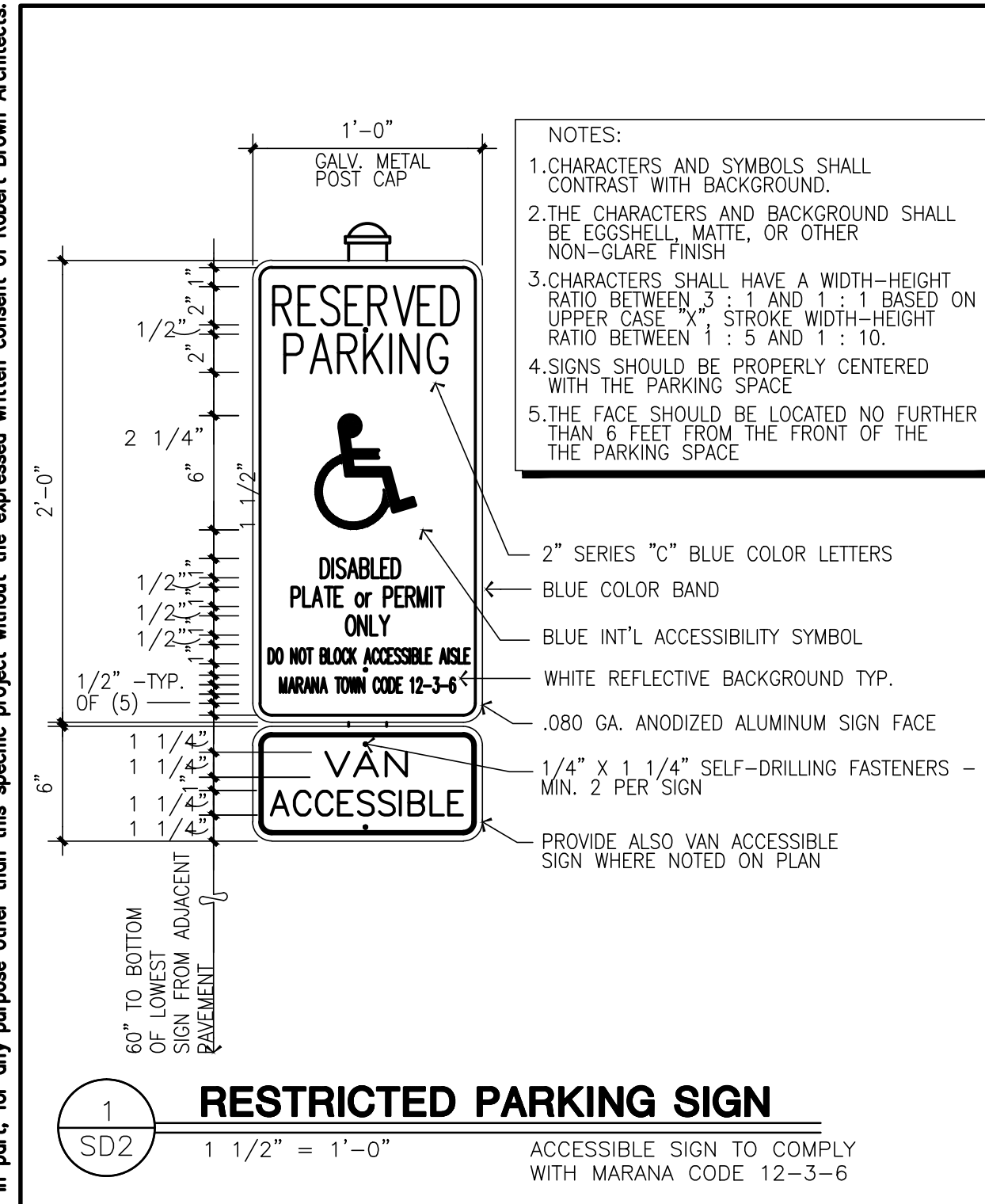
TOWNSHIP (25) RANGE (1E) SECTION (31)  
S430 WEST 1NA ROAD  
002-0093 PARADISE, AZ 85271

TITLE: MCDONALD'S INA ROAD DEVELOPMENT PLAN  
DESCRIPTION: SITE DETAILS

CASE NO. DPP1712-001  
PCZ-9404

SHEET  
SD1 (6 of 12)

V:\1 RBA PROJECTS\15049 McD - Ino Rd rebuild\Drawings\15049\_SD1-4.dwg  
Jun 30, 2018 - 1:20pm  
Plotted by emmy



PREPARED BY: **McDonald's USA, LLC**  
DESIGNED BY: **EMC**  
APPROVED BY: **KF**  
DATE PREPARED: 02/01/2018  
TOWNSHIP 12S, RANGE 13E, SECTION 31, MARANA, AZ 85725

88 south san marcos place  
chandler, az 85225  
P: 480.317.7222  
www.rbaarchitects.com

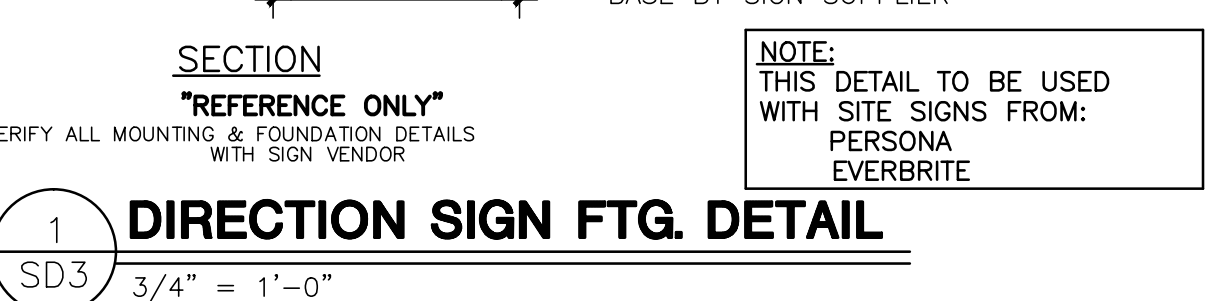
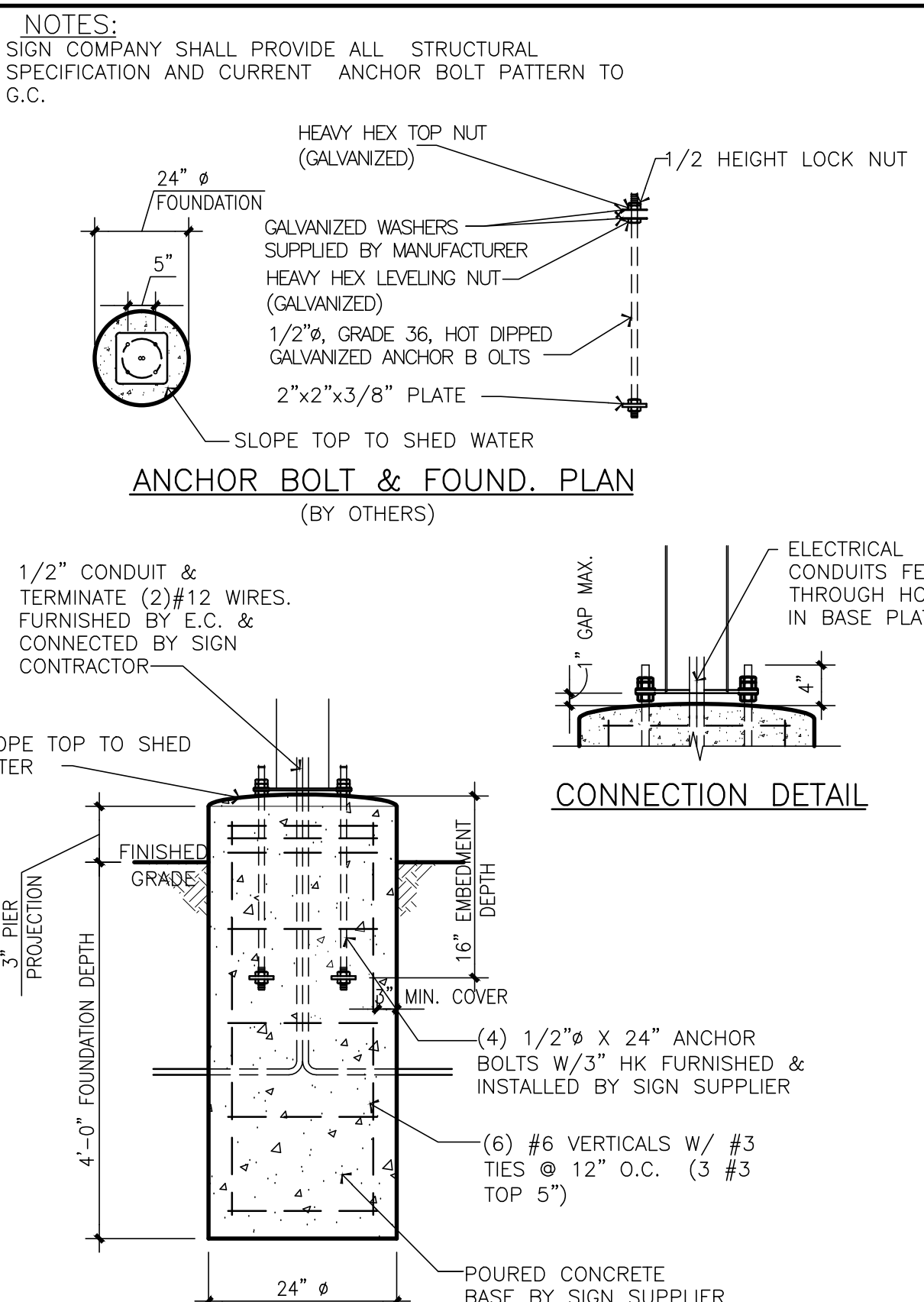
54220  
KELLY  
FERROUS SIGN  
1/30/18  
ONE SIGNED  
ARIZONA USA

Expires: 12/31/18  
RBA PROJECT NO: 15049

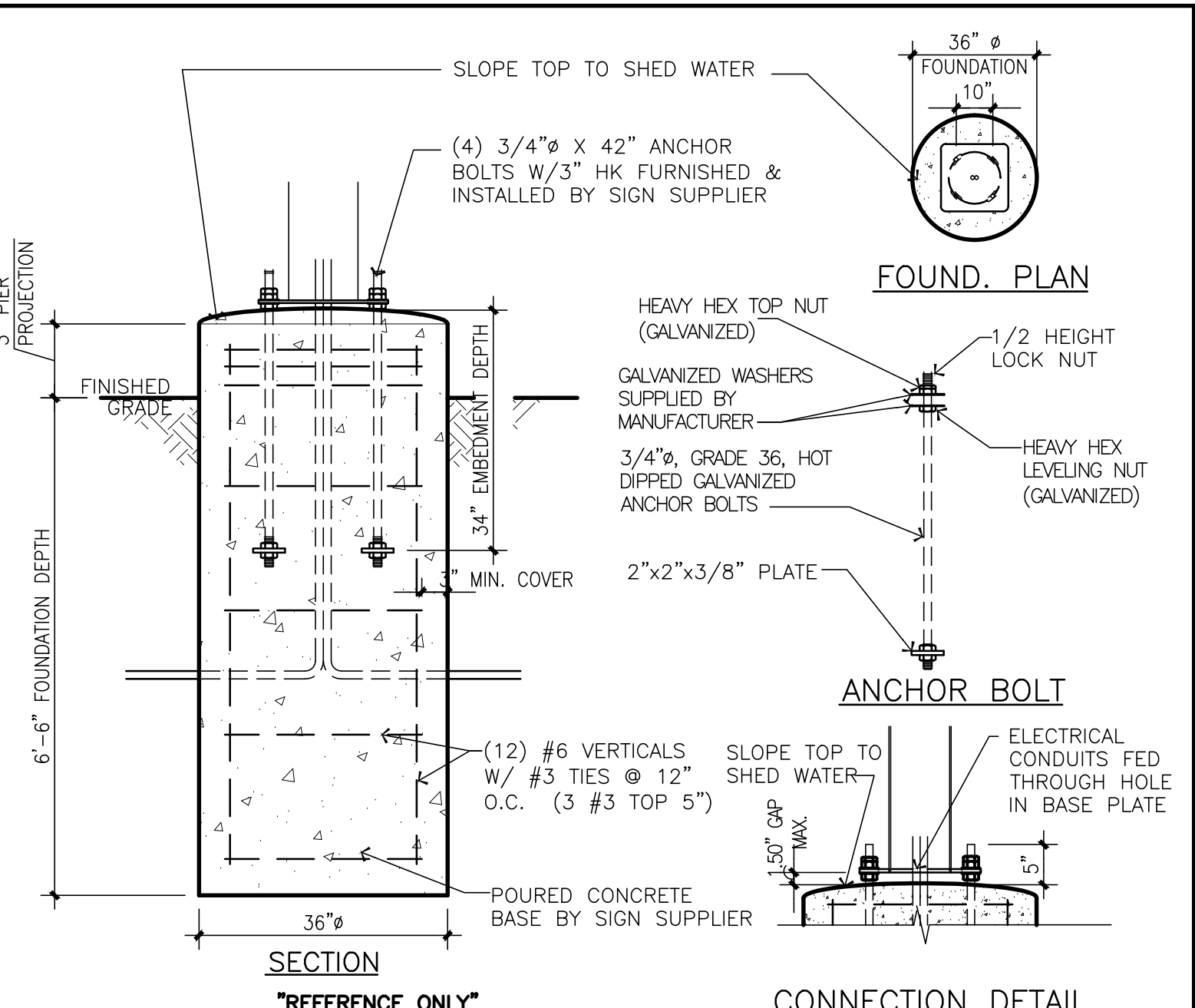
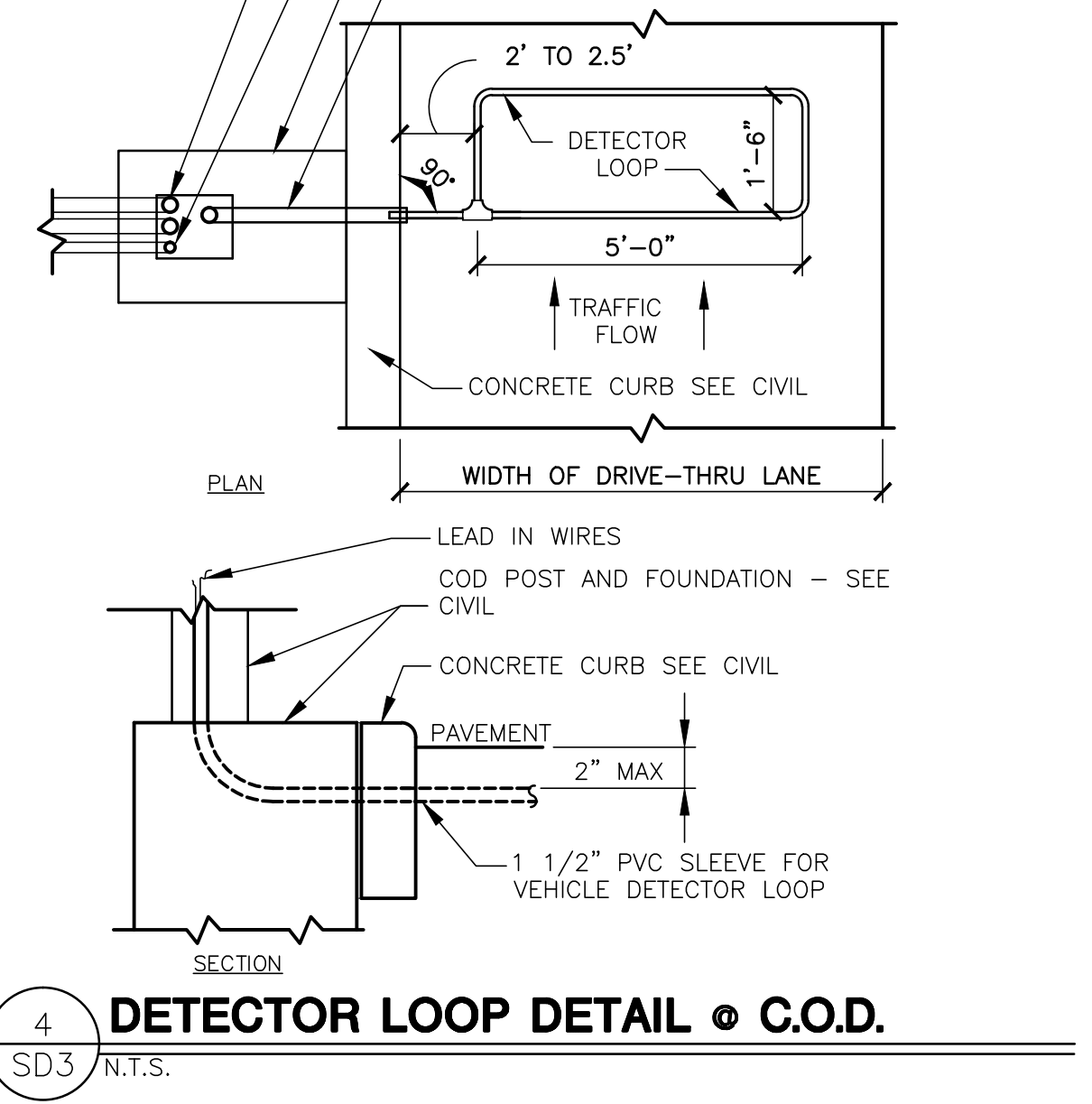
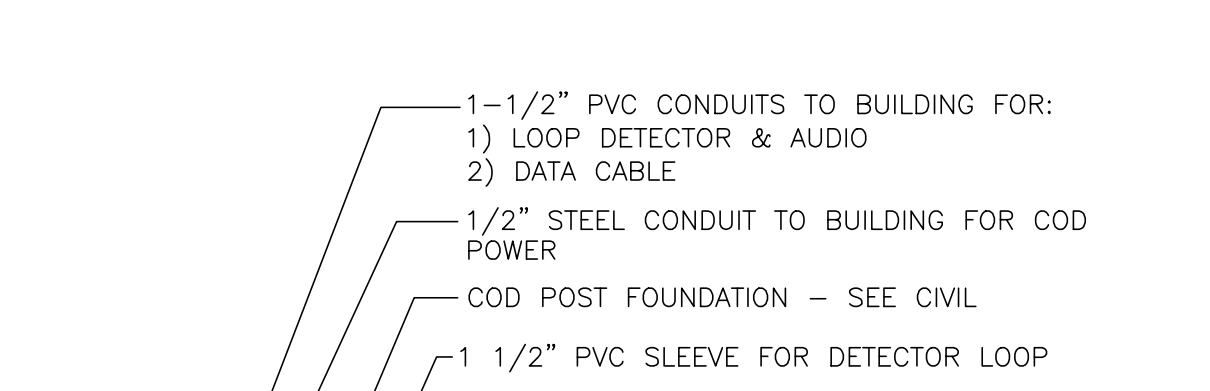
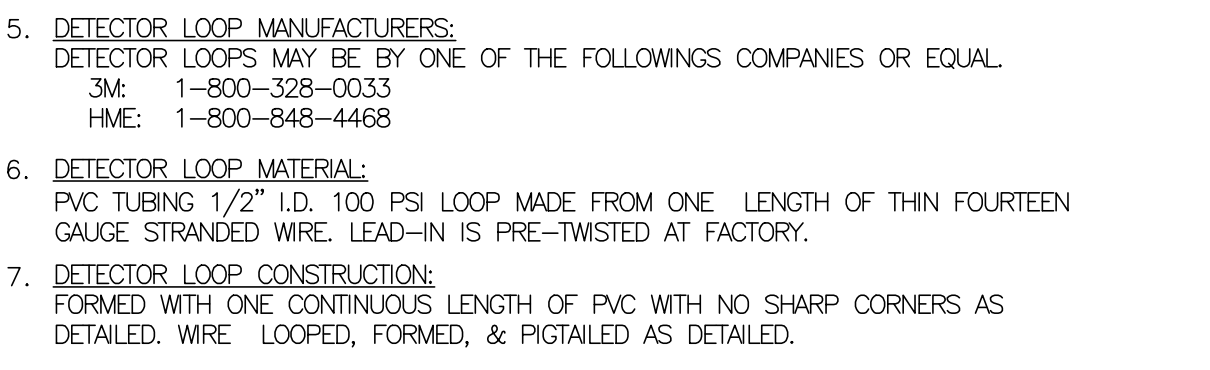
TITLE: **McDonald's INA ROAD DEVELOPMENT PLAN**  
DESCRIPTION: **SITE DETAILS**  
CASE NO. **DPP1712-001**  
PCZ-9404

SHEET **SD2 (7of12)**

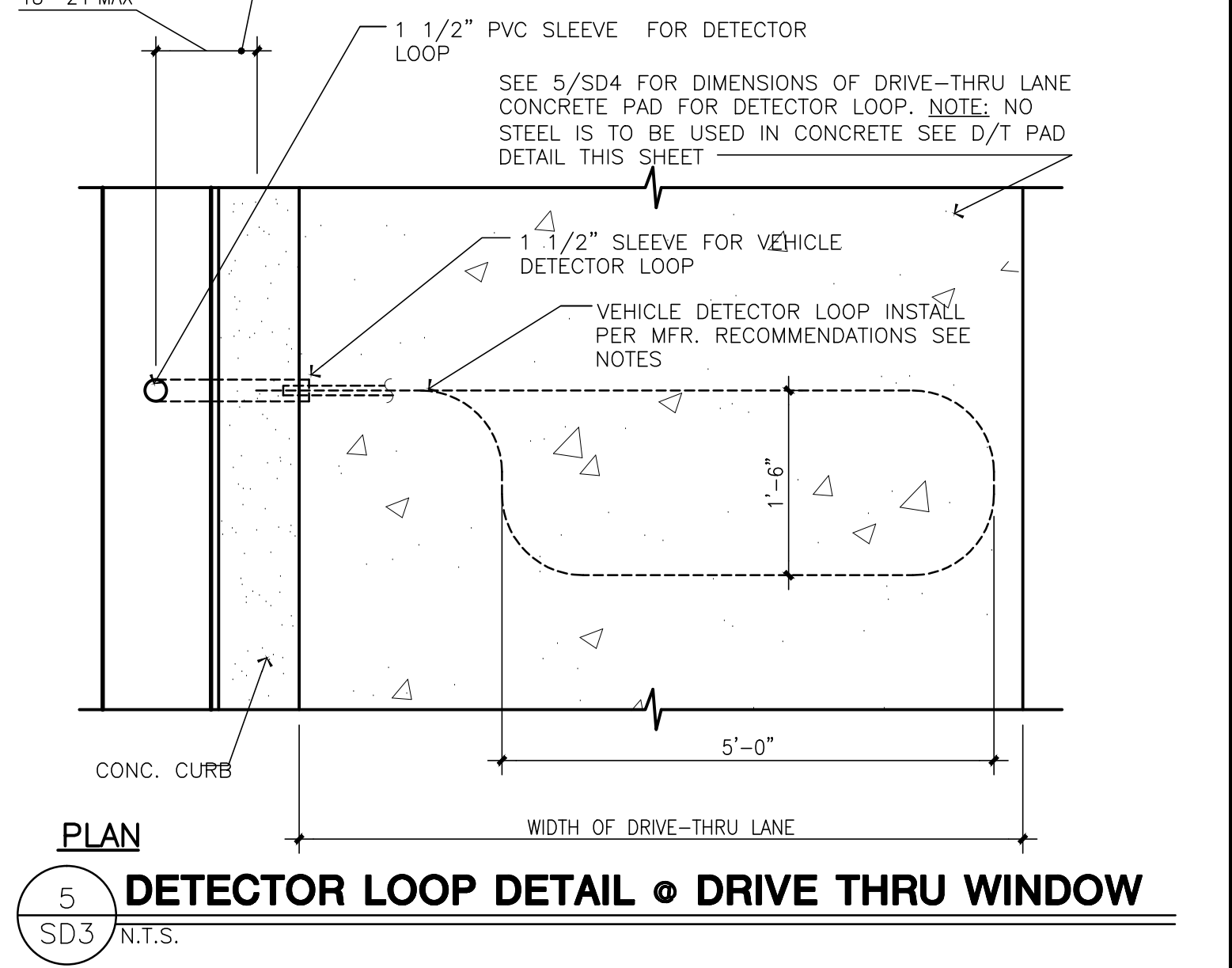
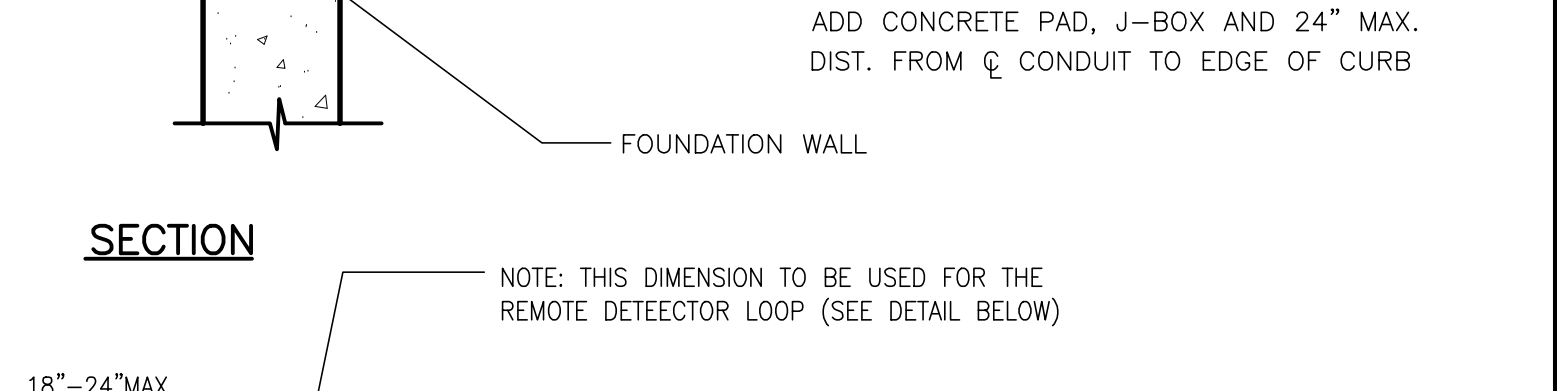
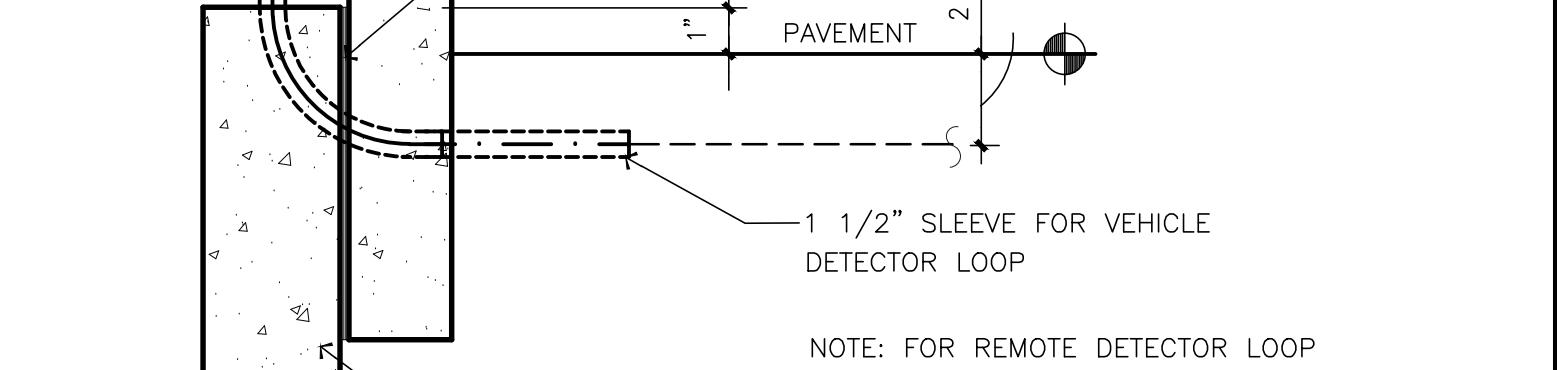
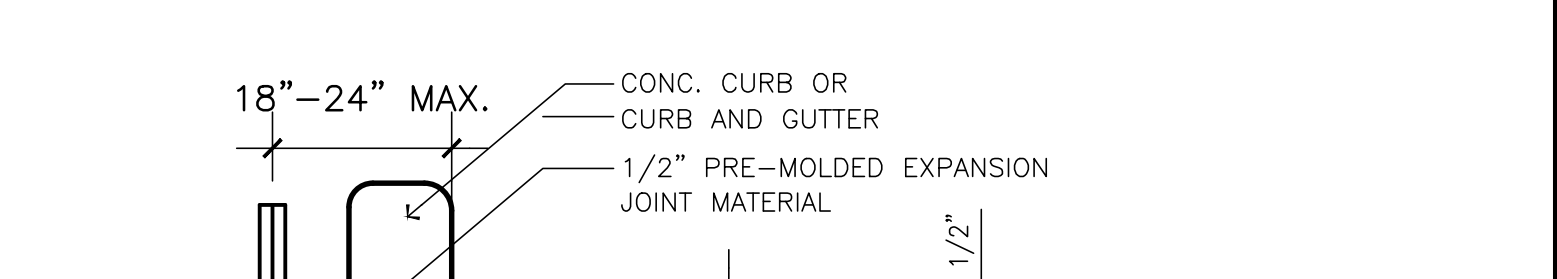
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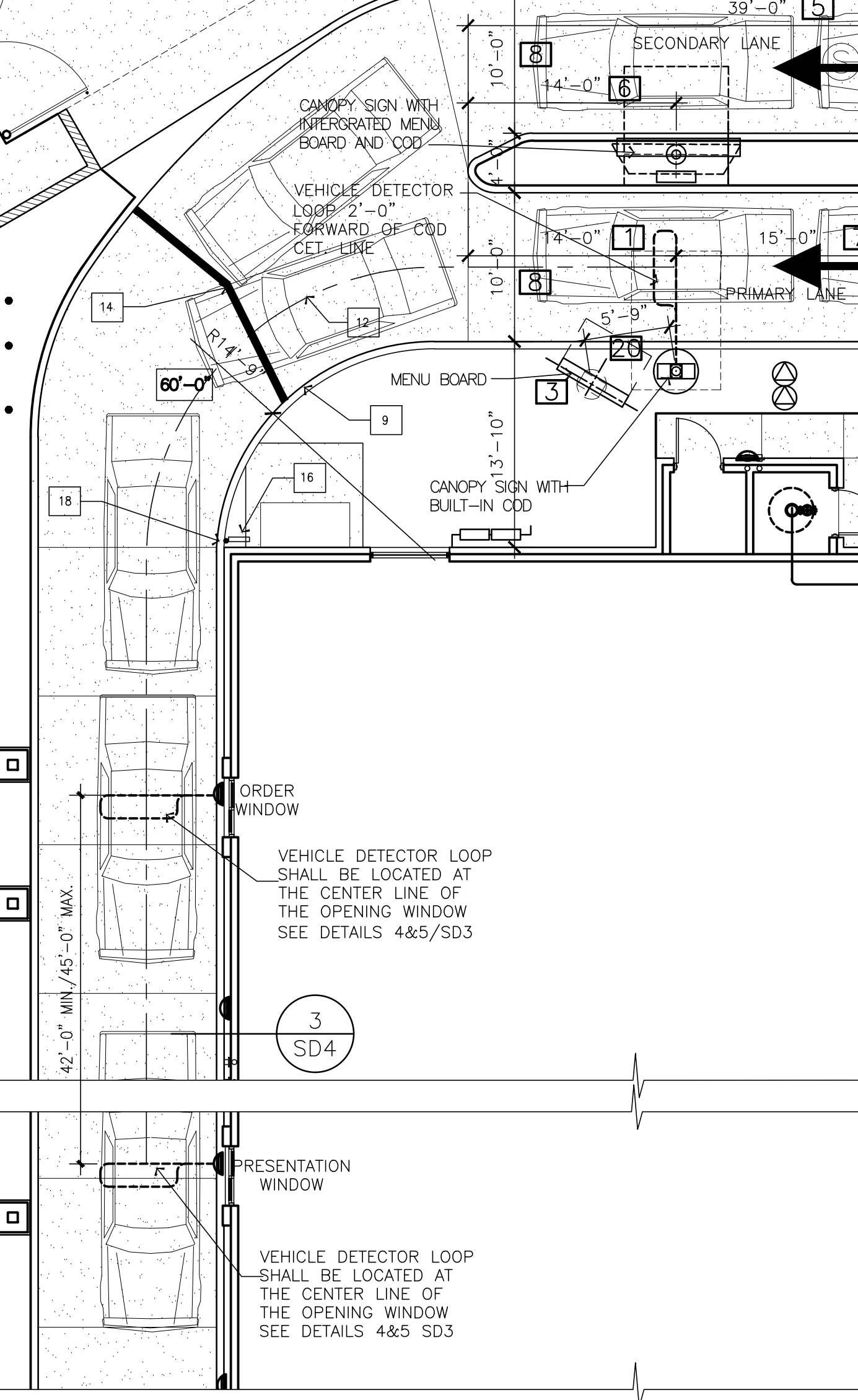
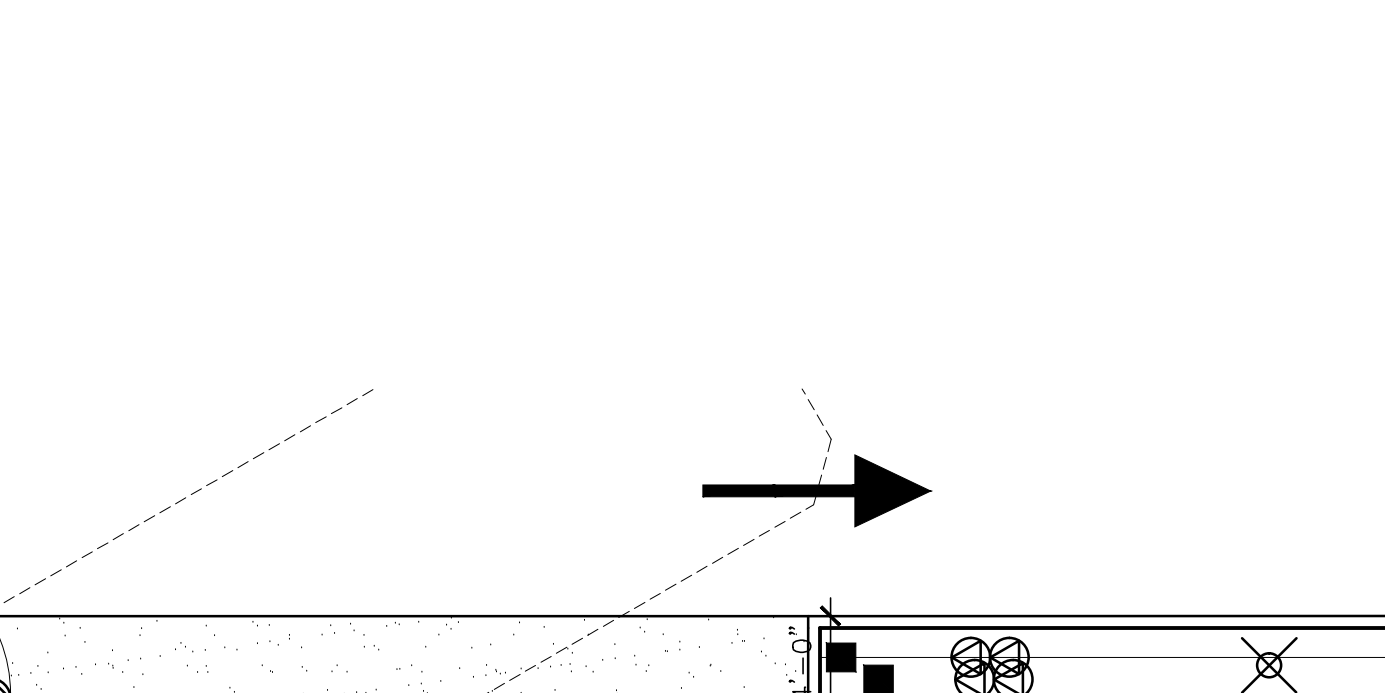
- NOTES: 1. VERIFY CONDUIT SIZES AND LAYOUT WITH DETECTOR LOOP MANUFACTURER. 2. CENTER VEHICLE DETECTOR LOOP (ITEM # 217.11E1) IN DRIVE THRU LANE. INSTALL PER MFR. RECOMMENDATIONS.



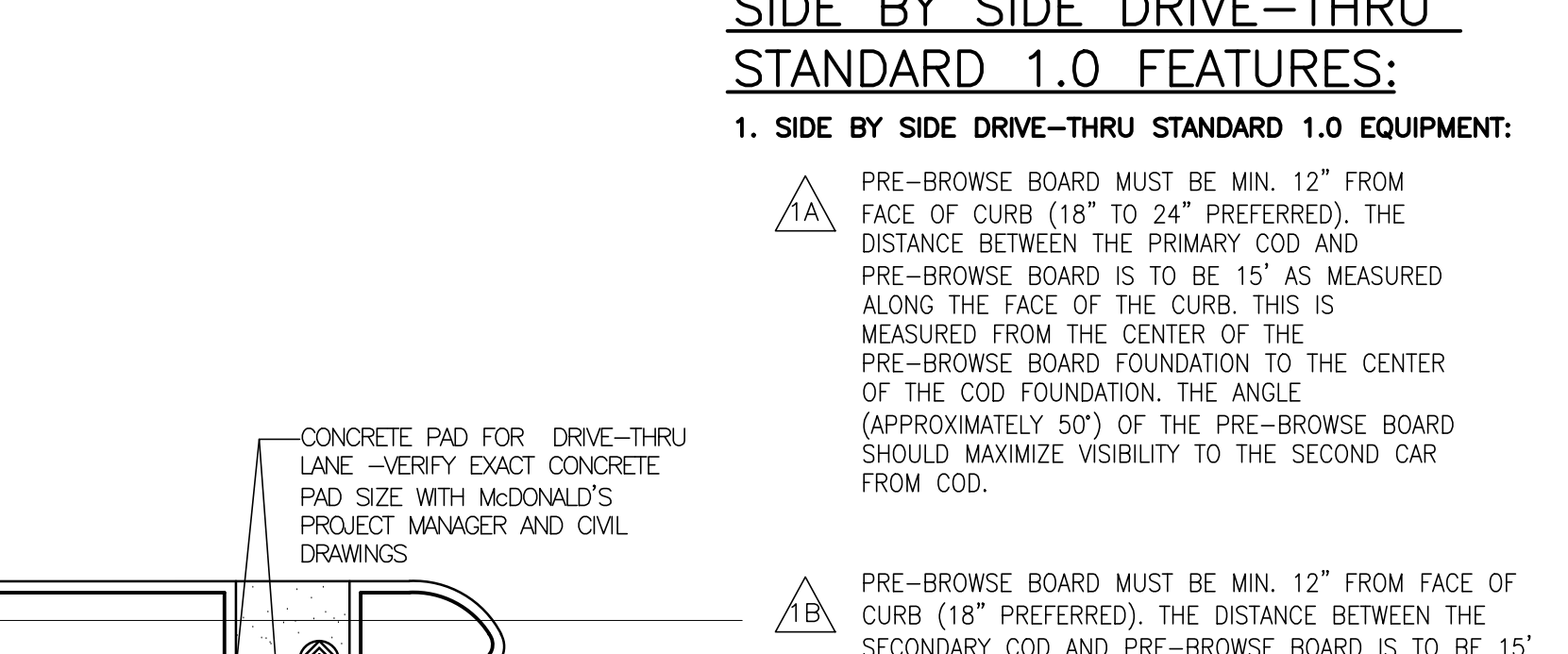
- NOTES: 1. G.C. TO COORDINATE THE RESPONSIBILITIES OF THE ELECTRICAL CONTRACTOR AND THE SIGN SUPPLIER. 2. GENERAL CONTRACTOR TO INSTALL PRE-FORMED, PRE-WIRED VEHICLE DETECTOR LOOP.



- LEGEND: 1 THE DISTANCE BETWEEN THE TIP OF THE CURBED ISLAND AND THE CENTER LINE OF THE PRIMARY COD MUST BE 15'-0".



- 11 THE CENTER OF THE SECONDARY MENU BOARD FOOTING SHOULD BE LOCATED APPROXIMATELY 6'-0" FROM THE TIP OF THE CURBED ISLAND AND 22" FROM FACE OF CURB.



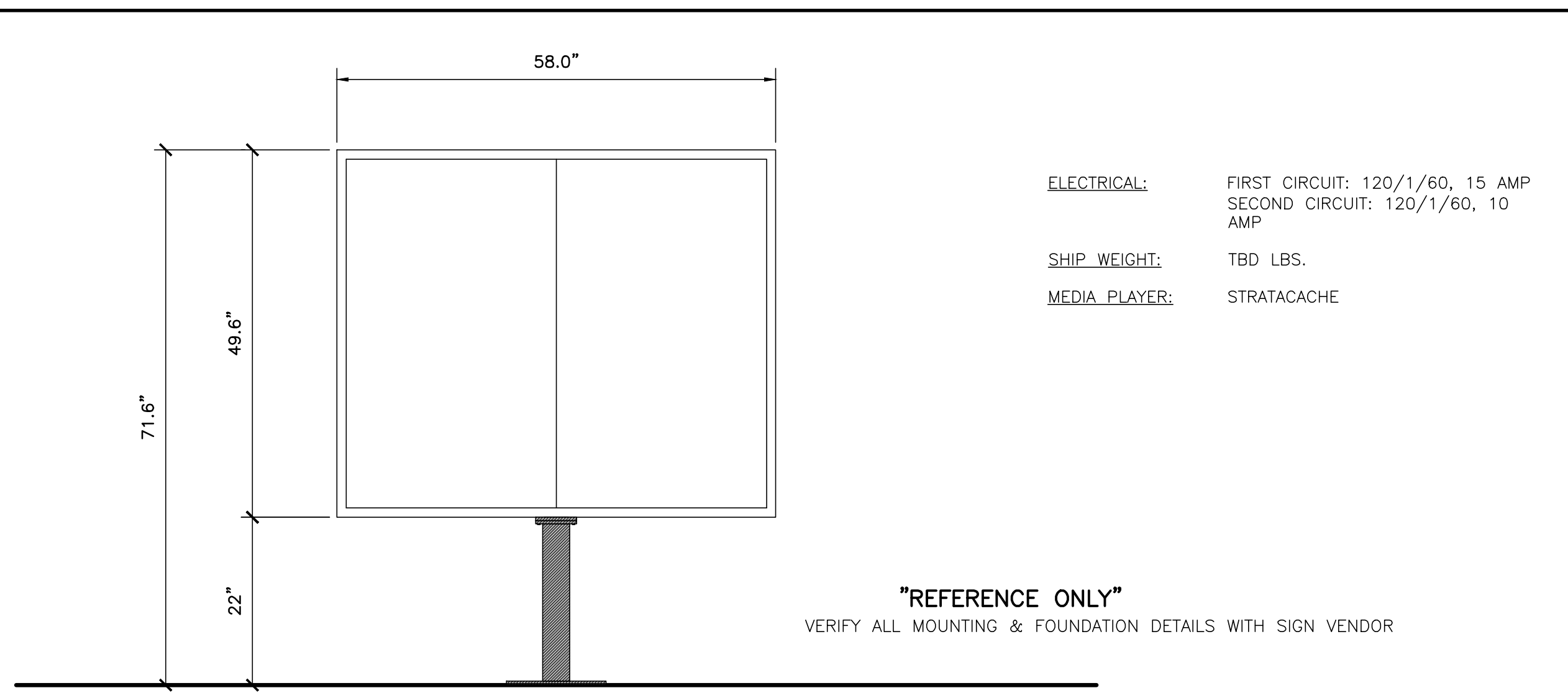
- GENERAL NOTES: DRIVE-THRU ELEMENTS: COD, DRIVE-THRU PYLON/CLEARANCE POLE AND BOLLARD SIGN SHALL BE CONSISTENT WITH THE STANDARD BUILDING DESIGN.

McDonald's USA, LLC DEVELOPMENT PLAN SITE DETAILS. Includes project information, drawing details, and a table with columns for REV, DATE, DESCRIPTION, and BY.





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**"REFERENCE ONLY"**  
VERIFY ALL MOUNTING & FOUNDATION DETAILS WITH SIGN VENDOR

**ELECTRICAL:** FIRST CIRCUIT: 120/1/60, 15 AMP  
SECOND CIRCUIT: 120/1/60, 10 AMP

**SHIP WEIGHT:** TBD LBS.

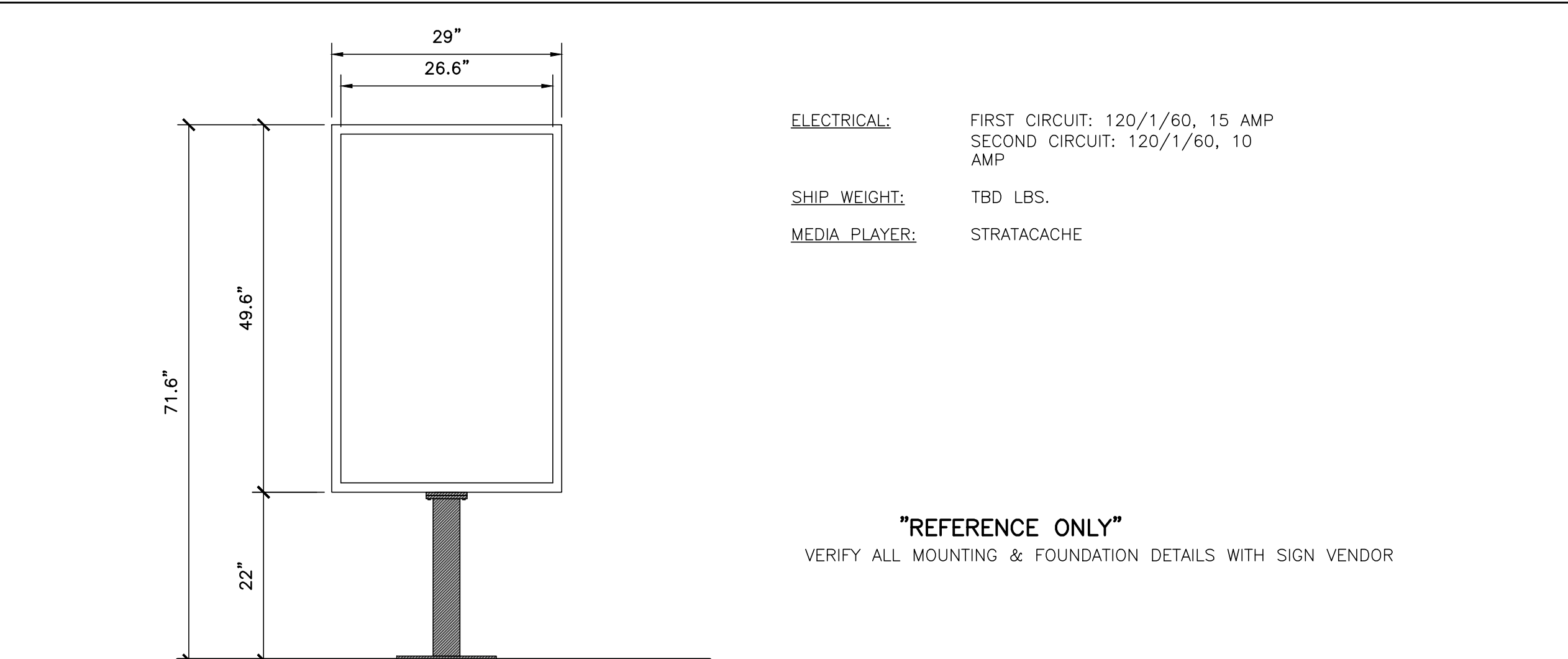
**MEDIA PLAYER:** STRATACACHE

**GENERAL NOTES**  
-THE FOLLOWING CODES WERE USED IN DESIGN:  
-IBC 2012  
-ASCE 7-10  
-ACI 318-11  
-AISC 360-10 & AISC 341-10  
-AWS D1.1  
-WIND SPEED XXX MPH (ULTIMATE WIND SPEED)  
-EXPOSURE C  
-DESIGN LOADS DERIVED FROM THESE CODES AND FORCES  
-AXIAL- XXX #  
-SHEAR- X,XXX #  
-MOMENT- X,XXX #  
-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE  
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100 PSF/FT (X2)  
-SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER, IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING IN TO ACCOUNT ACTUAL SITE SOIL CONDITIONS  
-TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)  
-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS

**CONCRETE:**  
-ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE  
-ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION  
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE  
-MINIMUM CONCRETE STRENGTH (F'c=3,000 PSI) SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A  
-USE OF ADMIXTURES SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6  
-AIR ENTERTAINMENT SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS 2.6-A AND 2.13-A  
-WATER CONTENT RATIO SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A  
-FOUNDATION CONCRETE TO BE TESTED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14  
-PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL  
-REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5 PERFORMED BY GENERAL CONTRACTOR  
-ANCHOR RODS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE  
-DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 3.11-E

**STEEL:**  
-STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE (Fy=35 KSI)  
-HSS ROUND SECTION: ASTM A500 GRADE B (Fy= 42 KSI)  
-HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (Fy= 46 KSI)  
-HEADED ANCHOR RODS ASTM F1554 GR 55, S1 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZATION.  
-STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36  
-REINFORCEMENT: ASTM A615 GRADE 60- BY GENERAL CONTRACTOR  
-NUTS: ASTM A563A, HEAVY HEX  
-WASHERS: ASTM F844 A36  
-USE ASTM A153 CLASS C OT DIPPED GALVANIZED BOLTS AND FASTENERS.  
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER  
-NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL  
-DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE  
-AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION  
-ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1  
-REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION

**1 DIGITAL MENU BOARD**  
SD5 NTS



**"REFERENCE ONLY"**  
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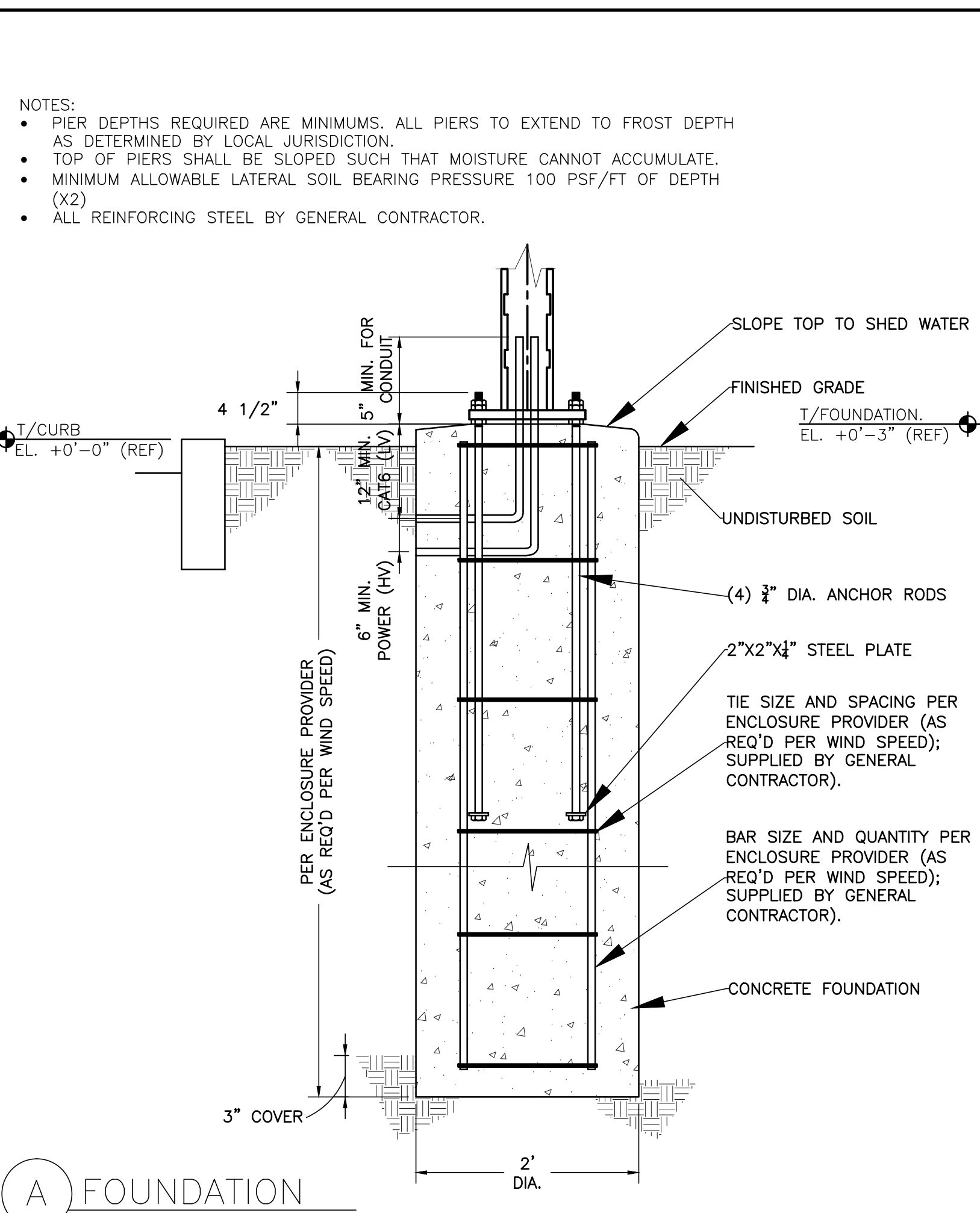
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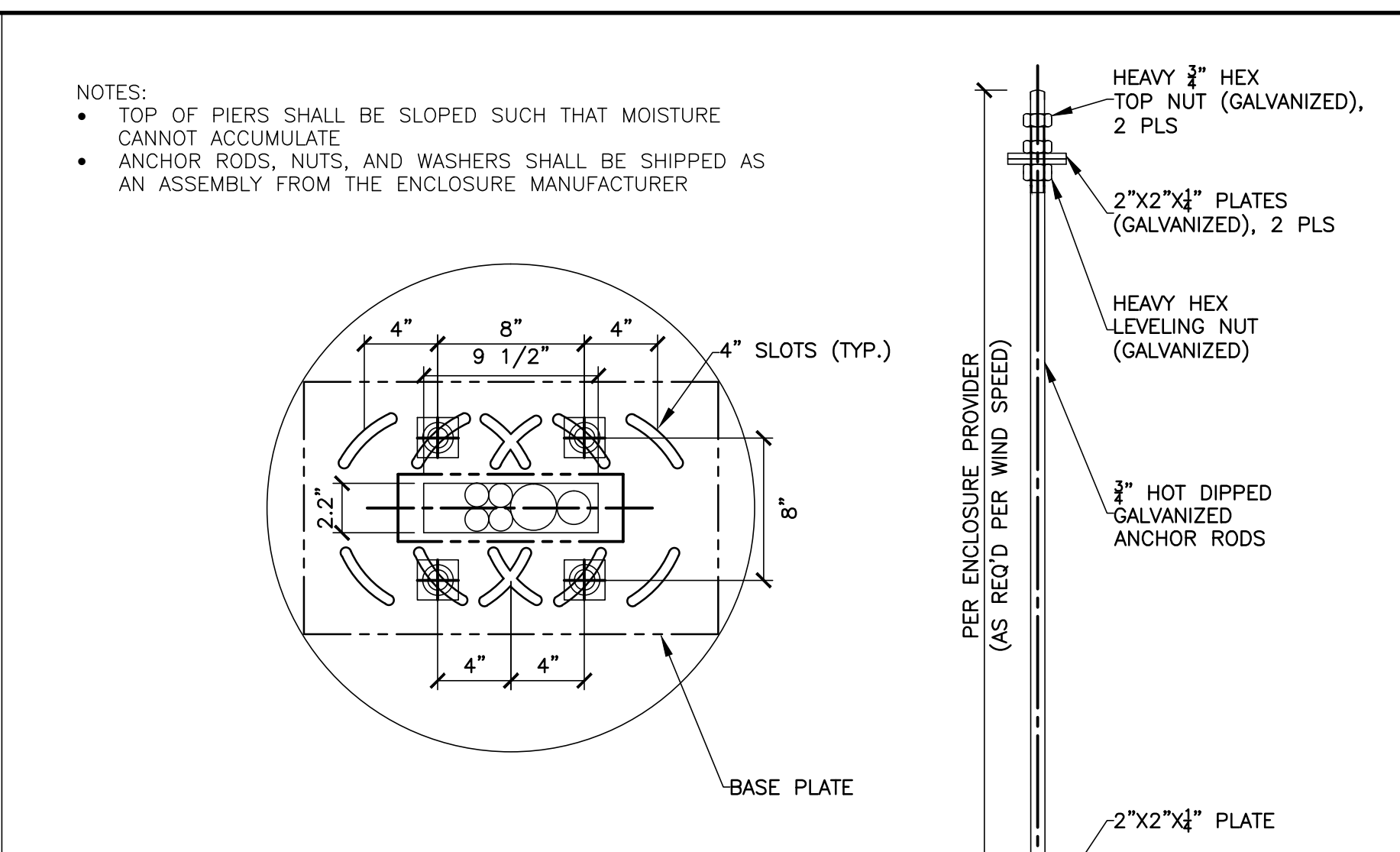
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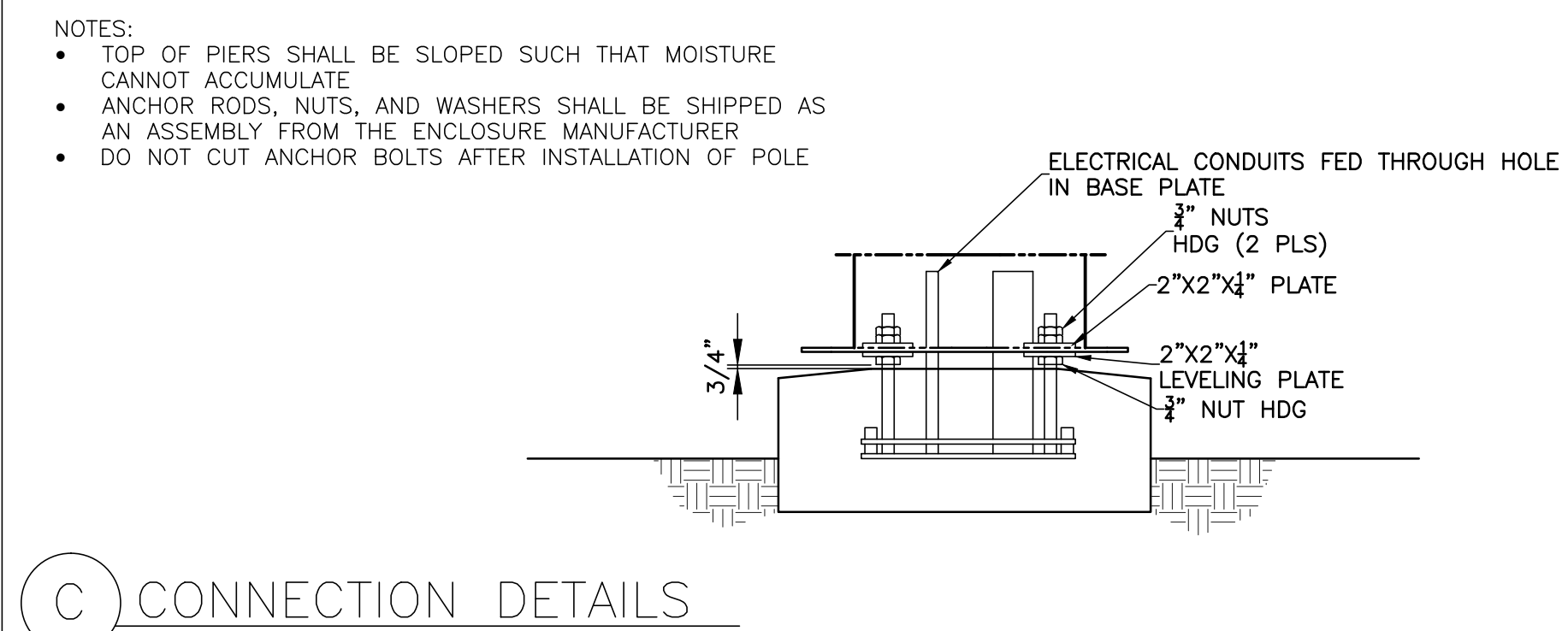
**2 DIGITAL PRE-BROWSE BOARD**  
SD5 NTS



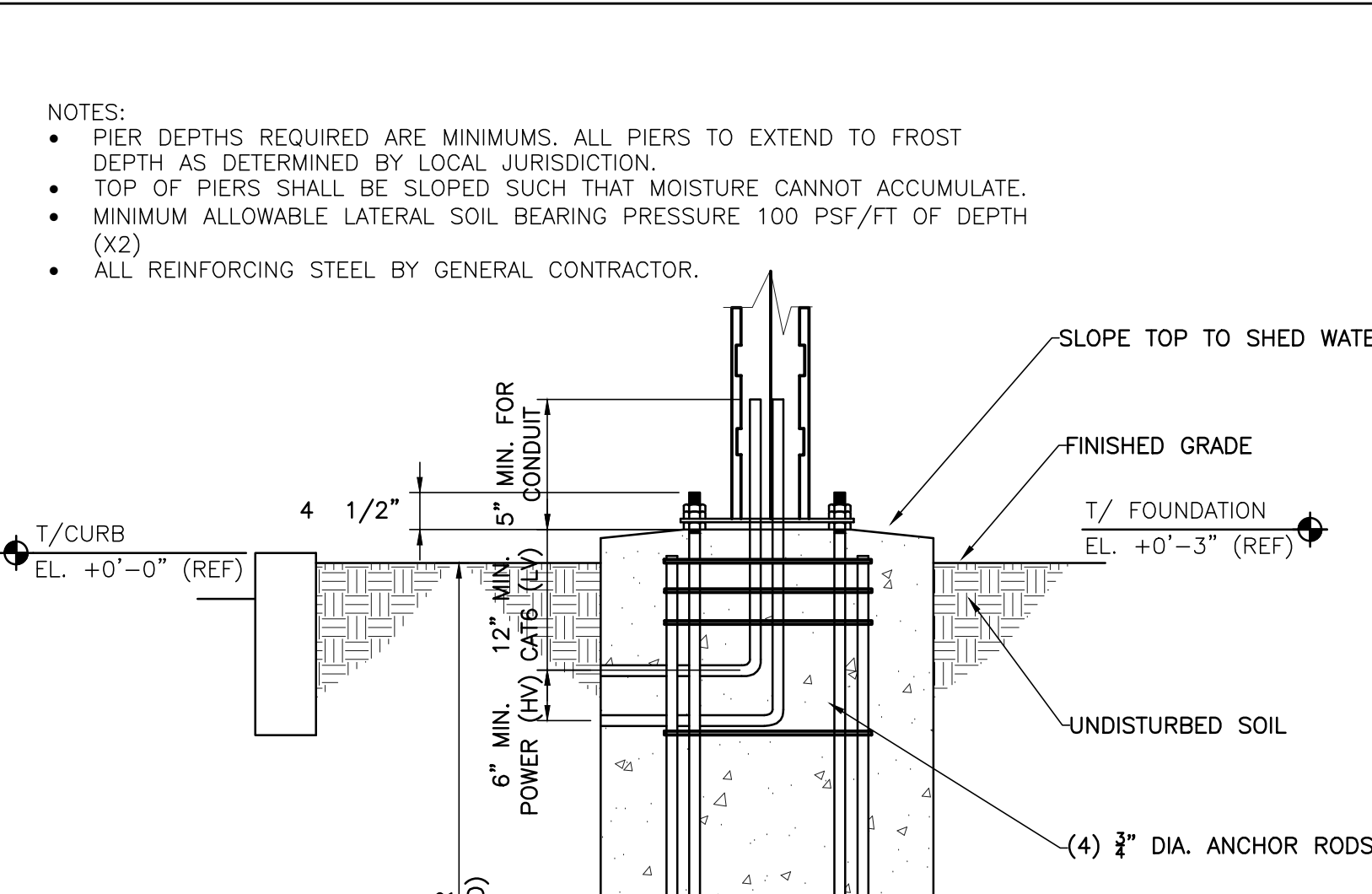
**A FOUNDATION**



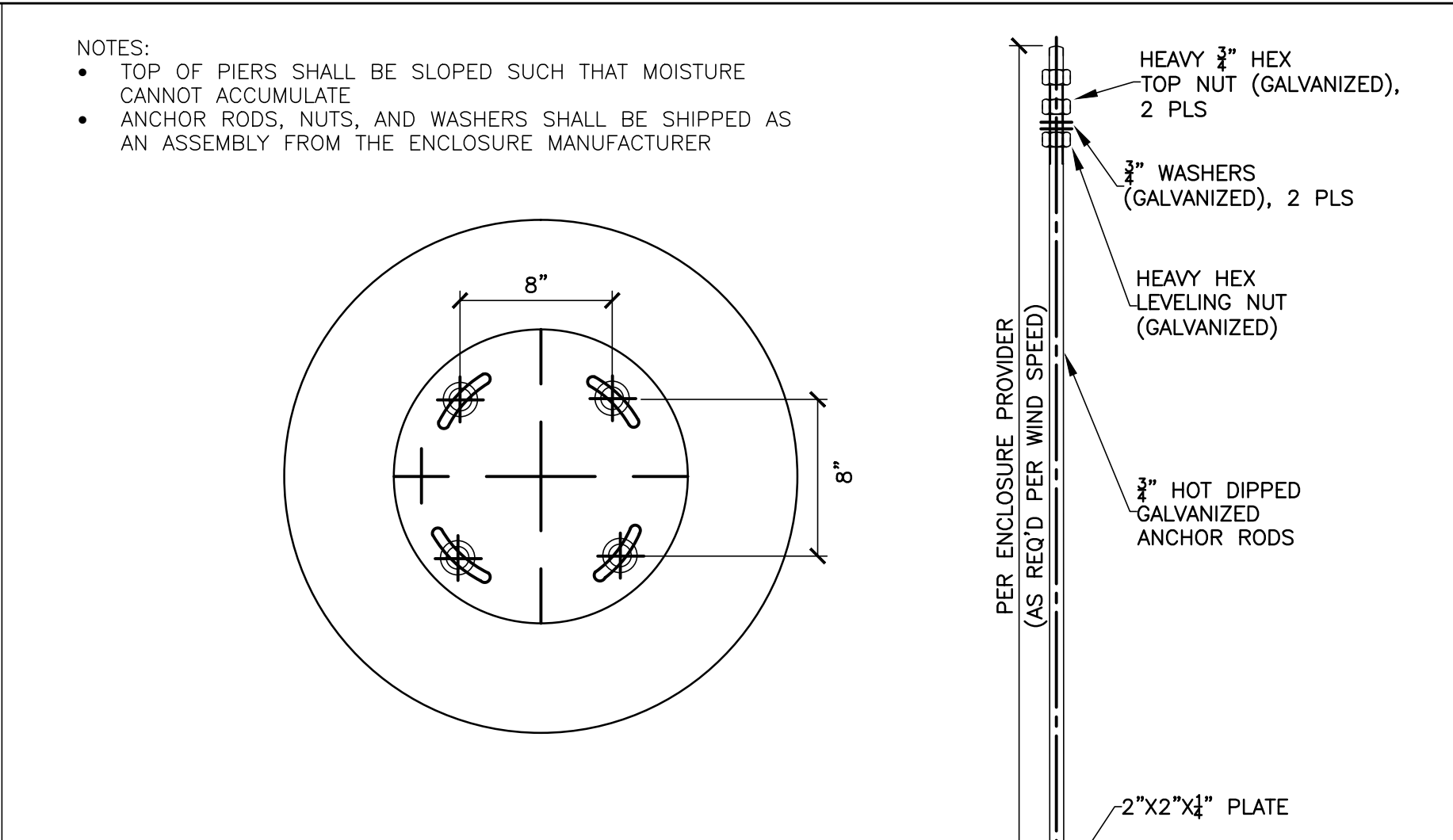
**B ANCHOR BOLT PATTERN**



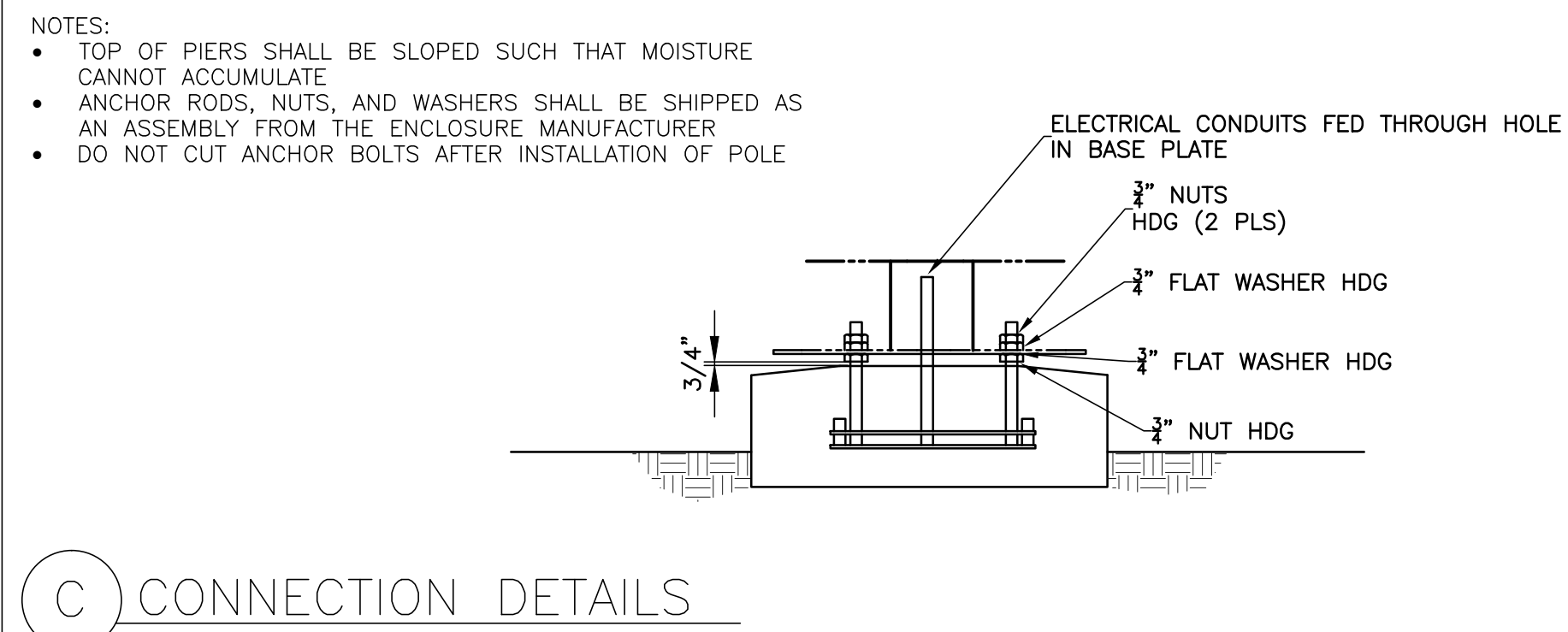
**C CONNECTION DETAILS**



**A FOUNDATION**



**B ANCHOR BOLT PATTERN**



**C CONNECTION DETAILS**

SEAL:

Expires: 12/31/18  
RBA PROJECT NO: 15049

PREPARED BY:   
88 south san marcos place  
chandler, arizona 85225  
www.robertbrownarchitects.com

REV	DATE	DESCRIPTION

PREPARED FOR: **McDonald's USA, LLC**

PROPERTY OF: **McDonald's USA, LLC**

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DRAWN BY: EMC  
DESIGNED BY: KF  
APPROVED BY: KF  
DATE PREPARED: 02.01.2018

TOWNSHIP 12S, RANGE 13E, SECTION 31, T31S, R13E, S31SW, INAD ROAD IN SUBDIVISION PLAT MAP BK 24, PG. 38

SITE ADDRESS: 5430 WEST INAD ROAD, PARADISE, AZ 85271

TITLE: **McDonald's INAD ROAD DEVELOPMENT PLAN**

DESCRIPTION: **SITE DETAILS**

CASE NO. DPP1712-001  
PCZ-9404

SHEET  
**SD5 (9of12)**

V:\1 RBA PROJECTS\15049 MCD - Ino Rd rebuild\Drawings\15049\_SD1-4.dwg  
Jan 30, 2018 - 1:27pm  
Plotted by emmy



